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structural engineer

electrical engineer

mechanical engineer

landscape architect

21011 RUTHERFORD RESIDENCE

SYMBOL		DESCRIPTION	
1 View Name A101 View Scale		VIEW TITLE	
Nam Elevatio		ELEVATION REFERENCE	
0		GRID BUBBLE	
1 Ref A101	 SIM. REFERENCE VIEW VIEW NUMBER SHEET NUMBER 	SECTION MARKER	
Ref -	 SIM. REFERENCE VIEW VIEW NUMBER SHEET NUMBER 	CALLOUT TAG	
1 Ref	 SIM. REFERENCE VIEW VIEW NUMBER SHEET NUMBER 	EXTERIOR ELEVATION TAG	
1 Ref	 SIM. REFERENCE VIEW VIEW NUMBER SHEET NUMBER 	INTERIOR ELEVATION TAG	
Room name	ROOM NAMEROOM NUMBER	ROOM TAG	
PT1 PT1 PT1 FF RB	 NORTH WALL FINISH EAST WALL FINISH WEST WALL FINISH BASE FINISH FLOOR FINISH 	FINISH ROOM TAG	
SYMBOL	DESCF	DESCRIPTION	
C00 8'-0"	CEILING FINISH & HEIGHT		
(CH-201)	CABINET HARDWARE		
(D101)	DOOR TAG		
W1	WALL TAG		
(10.2b)	MULTI CATEGORY TAG		
^	REVISION TAG		

FLOOR FINISHES

1. REFER TO ELEVATIONS AND PLANS FOR PATTERNS AND LAYOUT. 2. ALL GROUTING (WIDTH AND COLOUR) TO BE DETERMINED AFTER MATERIAL HAS BEEN RECEIVED AND INSPECTED. 3. INSTALL ALL FINISHES ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

WALL FINISHES

1. REFER TO ELEVATIONS FOR PATTERNS AND LAYOUT 2. REFER TO FINISH SCHEDULES FOR GROUTING TYPE

DRAWING ABBREVIATIONS

ADJ.

A.F.F.

AVB

C/W

COL.

COR. CLR.

C.G.

DET

DBL. DWG.

EQ.

EXT.

F.A.

FF

F.D.

F.O.S. F.R.T.

HOR.

HSS

H.B.

INT.

LAM.

MIRR.

MTL

MFR.

MIN.

O.H.

R.O.

RM.

R.D.

SIM.

S.S.

TYP.

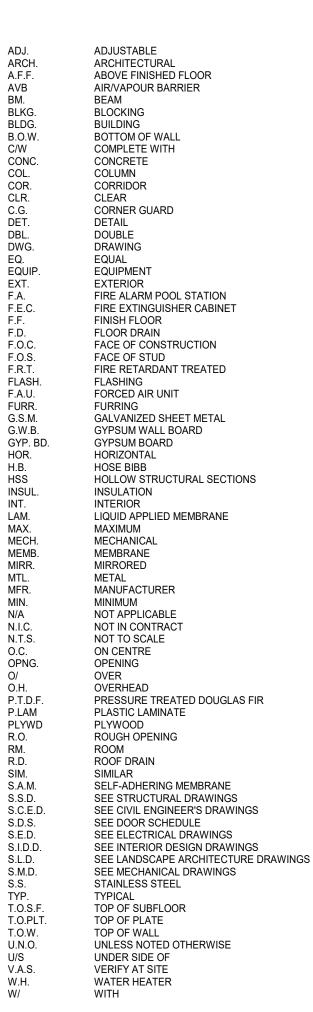
U/S

W.H.

N/A N.I.C.

MAX.

BM.



GENERAL NOTES

- ALL WORK TO CONFORM TO THE NATIONAL BUILDING CODE, 2019 ALBERTA FDITION
- DIMENSIONS SHOWN ARE MEASURED TO FACE OF STUD FOR INTERIOR DIMENSIONS AND TO FACE OF EXTERIOR SHEATHING ON EXTERIOR WALLS
- LINE OF PLUMBING FIXTURES (UNLESS NOTED OTHERWISE)
- BELOW FROST LINE, WHICHEVER IS DEEPER. REFER TO STUCTURAL DRAWINGS.
- REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS AND SIZES OF STRUCTURAL COMPONENTS.
- PRIME PAINTED READY FOR PAINT FINISHES

CONSTRUCTION NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND THE WORK OF ALL SUB-TRADES INVOLVED ON THE CONSTRUCTION SITE. THE GENERAL CONTRACTOR IS ALSO RESPONSIBLE FOR ALL SUB-TRADES TENDERING. CONTRACTOR AND/OR SUB-TRADE TO ALLOW FOR SITE REVIEW OF EXISTING CONDITIONS PRIOR TO CLOSING OF TENDER. THE GENERAL CONTRACTOR MUST ENSURE THAT ALL EXECUTED WORK MEETS THE RELEVANT CODES AND REGULATIONS. BEFORE COMMENCEMENT OF WORK, THE GENERAL CONTRACTOR MUST INSPECT ALL THE PLANS AND SPECIFICATIONS, AND ADVISE THE INTERIOR DESIGNER OF ANY ERRORS AND OVERSIGHTS IN THE TENDERING AND CONSTRUCTION DOCUMENTS. EVERY DIMENSION MUST BE VERIFIED ON SITE PRIOR TO COMMENCING THE WORK. WHERE DISCREPANCY BETWEEN SITE MEASUREMENTS AND DRAWINGS EXIST, THE DESIGNER TO BE NOTIFIED PRIOR TO PROCEEDING WITH THE WORK. DIMENSIONS ARE NOT TO BE SCALED FROM DRAWINGS, AND WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS SCALE. ALL LICENSES AND CERTIFICATES, INCLUDING THE CONSTRUCTION PERMIT NEEDED TO BE EXECUTION OF THE WORK, ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, AS ARE THEIR COSTS AND PURCHASE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SAFETY AND SECURITY ON SITE AND THE SECURITY OF MATERIALS. THE GENERAL CONTRACTOR MUST VERIFY THE ACCESSIBILITY ON SITE OF LARGE MATERIALS AND ADVISE THE DESIGNER OF ANY PROBLEM DURING THE TENDERING PERIOD. ALL MATERIALS USED ON THE CONSTRUCTION SITE MUST BE NEW, OF GOOD QUALITY, AND CONFORM TO ALL GOVERNMENTAL AND MUNICIPAL STANDARDS. . THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE BUILDING AND SITE IN CLEAN CONDITION. INCLUDING PROTECTION OF ALL ITEMS TO REMAIN WHILE DOING CONSTRUCTION. ANY ALTERNATES PROPOSED BY THE GENERAL CONTRACTOR
- CLIENT AND THE DESIGNER. THE CLIENT AND THE DESIGNER HAVE THE RIGHT TO REFUSE ANY OPTIONS WITHOUT ANY OBLIGATIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE CLEANING OF THE SITE. ALL SURFACES MUST BE CLEAN, UNIFORMED FREE OF MARKS, DIRT AND STAINS. EXTERIOR WINDOWS FRAMES AND
- ELEMENTS, MUST BE CLEANED AND POLISHED. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING ANY
- PARTITION LAYOUT.
- THE GENERAL CONTRACTOR MUST COORDINATE ALIGNMENT OF REVEALS WITH SUB-TRADES (IF NECESSARY).
- PLYWOOD BACKING, 5/8" THICK, SHOULD BE INSTALLED BEHIND THE 15. GYPSUM WALL BOARD TO SUPPORT ALL BUILT-IN MILLWORK, WALL MOUNTED FURNITURE, TV'S AND BATH HARDWARE.

SHOP DRAWING NOTES:

- THE GENERAL CONTRACTOR MUST SUBMIT SHOP DRAWINGS OF DOORS, DOOR FRAMES, AND HARDWARE TO THE DESIGNER FOR APPROVAL.
- THE GENERAL CONTRACTOR MUST SUBMIT SHOP DRAWINGS OF ALL MILLWORK AND BUILT-IN FURNITURE TO THE DESIGNER FOR APPROVAL, WITH THE UNDERSTANDING OF A 3 DAY TURN AROUND TIME BY THE DESIGNER ONCE RECEIVED.
- SUBMITTED TO THE DESIGNER FOR REVIEW WITH AN UNDERSTANDING OF A 4 DAY TURN AROUND TIME BY THE DESIGNER ONCE RECEIVED. SAMPLES MUST BE NO LESS THAN 12"x12".

BACKFILL

- THERMAL INSULATION AND WATERPROOFING OR DAMP PROOFING OF THE WALL. NO BACKFILLING SHALL BE DONE UNTIL FLOOR FRAMING IS IN PLACE AND ALL LATERAL FOUNDATION SUPPORT IS IN PLACE. LATERAL FOUNDATION SUPPORT IS NOTED IN STRUCTURAL DRAWINGS. USE VIBRATORY COMPACTION EQUIPMENT. DO NOT PROCEED WITH BACKFILLING OPERATIONS UNTIL OWNER HAS INSPECTED AND APPROVED INSTALLATIONS. OWNER WILL BE PRESENT FOR ALL BACKFILLING AND COMPACTION OPERATIONS AREAS TO BE BACKFILLED SHALL BE FREE FROM DEBRIS. DO NOT USE BACKFILL MATERIAL WHICH CONTAINS DEBRIS. PLACE BACKFILL MATERIAL IN UNIFORM LAYERS NOT EXCEEDING 12" COMPACTED THICKNESS UP TO GRADES INDICATED. COMPACT EACH LAYER BEFORE PLACING SUCCEEDING LAYER. BACK FILL AROUND ALL INSTALLATIONS. PLACE LAYERS SIMULTANEOUSLY ON BOTH SIDES OF INSTALLED WORK TO EQUALIZE LOADING, DIFFERENCE NOT TO EXCEED USE FILL OF TYPES AS INDICATED IN DRAWINGS. 5 COMPACTION DENSITIES ARE PERCENTAGES OF MAXIMUM DENSITIES OBTAINED FROM ASTM D698, AND ASTM D1557 CORRECTED MAXIMUM DRY DENSITY
- EXTERIOR SIDE OF PERIMETER WALLS: USE CLEAN NATIVE EXCAVATED FILL MATERIAL TO SUBGRADE LEVEL. COMPACT TO 95% SUB BASE BELOW SLABS ON GRADE: USE 6" LIFTS OF ¾" ROAD CRUSHED GRAVEL TO UNDERSIDE OF BASE COURSE FOR FLOOR SLABS.
- COMPACT TO 98% THE BUILDING SITE MUST BE GRADED SO THAT SURFACE WATER WILL DRAIN AWAY FROM THE BUILDING. NOTIFY THE CONSULTANT OF COMPLETION OF EXCAVATION WORK AND BEFORE ANY CONCRETE OR FILL IS PLACED ON THE
- BEARING LEVEL IN ORDER THAT HE MAY INSPECT THE EXPOSED BEARING SURFACES. BAIL OR PUMP ALL WATER OUT OF EXCAVATION AS IT ACCUMULATES.
- NO BACKFILLING SHALL BE DONE UNTIL ALL FOUNDATION WORK AND WEEPING TILE HAS BEEN INSPECTED BY THE CONSULTANT OR AUTHORITY. BACKFILL SHALL BE GRADED TO PREVENT DRAINAGE TOWARDS THE FOUNDATION AFTER SETTLING.

(UNLESS NOTED OTHERWISE). DIMENSIONS ARE MEASURED TO CENTRE

ALL FOOTINGS SHALL BE TAKEN DOWN TO UNDISTURBED NATIVE SOILS OR

ALL GYPSUM BOARD WALLS ARE TO BE MUDDED, TAPED, SANDED AND

MUST MEET CODES AND REGULATIONS, AND BE APPROVED BY THE

GLASS, MIRRORS, HARDWARE, FLOOR AND WALL TILE, PORCELAIN ENAMEL. BUILT-IN MODULAR, SHELVES, AND ALL OTHER SIMILAR

NEW CONDUITS OR DUCTWORK IS NOT IN CONFLICT WITH THE

SAMPLES: PAINT AND FINISH MILLWORK SAMPLES MUST BE

BACKFILL SHALL BE PLACED TO AVOID DAMAGING THE FOUNDATION WALL, THE DRAINAGE TILE, EXTERNALLY APPLIED

EXTERIOR WALL GENERAL NOTES

- PROVIDE DENS-SHIELD TILE BACKER OR APPROVED EQUAL AROUND ALL TUBS AND SHOWERS.
- ENSURE DENS-SHIELD TILE BACKER ON ALL EXTERIOR WALLS CONTINUE PAST LIP OF TUB TO FLOOR
- ENSURE ALL ADJACENT GYPSUM BOARD SURFACES ARE FLUSH. ALL EXPOSED GYPSUM BOARD SURFACES TO BE TAPED AND SANDED.
- CONFIRM STUD SPACING OF ALL LOAD BEARING WALLS WITH STRUCTURAL DRAWINGS. ALL WOOD SILL PLATES IN CONTACT WITH CONCRETE TO BE PRESSURE
- TREATED OR SEPARATED FROM CONCRETE WITH A SILL GASKET.
- SILL PLATES TO BE SET ON TWO BEADS OF ACOUSTIC CAULKING. REFER TO STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING.
- A FULL RAIN SCREEN EIFS SYSTEM SHALL BE USED AND BE INSTALLED BY A QUALIFIED TRADE APPROVED BY THE EIFS SYSTEM MANUFACTURER AND IN STRICT ACCORDANCE WITH THE SPECIFICATIONS. ENSURE ALL WALL SHEATHING SURFACES TO RECEIVE TROWEL-APPLIED
- WEATHER RESISTANT BARRIER ARE RPOPERLY TREATED AT THE JOINTS AND TRANSITIONS, AS PER MANUFACTURER'S REQUIREMENTS.

INTERIOR WALL GENERAL NOTES

- REFER TO INTERIOR ELEVATIONS AND DETAILS FOR INTERIOR WALL FINISHES
- PROVIDE DENS-SHIELD TILE BACKER OR APPROVED EQUAL AROUND ALL TUBS AND SHOWERS.
 - ENSURE ALL ADJACENT GYPSUM BOARD SURFACES ARE FLUSH. ALL EXPOSED GYPSUM BOARD SURFACES TO BE TAPED AND SANDED. CONFIRM STUD SPACING OF ALL LOAD BEARING WALLS WITH STRUCTURAL
 - DRAWINGS. REFER TO STRUCTURAL DRAWINGS FOR LOCATION OF SHEAR WALL
 - PLYWOOD SHEATHING. GYPSUM BOARD OVER SHEATHING. ALL WOOD SILL PLATES IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED OR SEPARATED FROM CONCRETE WITH A SILL GASKET.
 - CONFIRM ROUGH OPENINGS FOR ALL PLUMBING FIXTURES WITH SUPPLIERS.
 - PROVIDE ACOUSTIC INSULATION AROUND PLUMBING PIPES AND INSIDE OF INTERIOR PARTITIONS. PROVIDE PLYWOOD OR APPROVED EQUAL WHERE STONE VENEER IS

ROOF GENERAL NOTES

INSTALLED

- PRIOR TO INSTALLING SPRAYFOAM INSULATION, ENSURE ALL WOOD COMPONENTS TO RECEIVE SPRAYFOAM INSULATION HAS A MOISTURE CONTENT BELOW 19% AND THAT ROOFING IS INSTALLED TO COMPLETION
- PROVIDE ICE AND WATER SHIELD ON ANY ROOF LOCATED BELOW ANOTHER ROOF A MIN. 36" PAST DRIP LINE IN EITHER DIRECTION. MIN. 6" OVERLAP.
- PROVIDE ICE AND WATER SHIELD FOR 36" ADJACENT ANY VERTICAL SURFACES AND RETURN UP A VERTICAL SURFACE 18".
- EAVE PROTECTION TO EXTEND 48" UP ROOF FROM LINE OF INSIDE FACE OF EXTERIOR WALL. MIN. 6" OVERLAP.
- CONFIRM ALL ROOF SHEATHING THICKNESS WITH STRUCTURAL DRAWINGS.

FLOOR GENERAL NOTES

CONFIRM ALL JOIST SIZES AND SPACING WITH STURCTURAL DRAWINGS. REFER TO FINISH PLANS FOR EXTENT OF NEW FINISH FLOORING.

FINISH GENERAL NOTES

- ELEVATOR MOCK UP TO BE PROVIDED. ALL ELEVATOR FINISHES TO BE APPROVED BY DESIGNER FROM MOCK UP. CARPET BACKING TO BE APPROVED BY DESIGNER ALL GROUT TO BE EPOXY GROUT.
- GROUT TO BE MINIMAL THICKNESS FOR BACKSPLASH TILES, PREFERABLY 1/8". ALL GROUTING (WIDTH AND COLOR) TO BE DETERMINED AFTER MATERIAL AND BEEN RECEIVED AND INSPECTED
- PTD ALUMINUM BASE SAMPLES TO BE PROVIDED FOR DESIGNER'S APPROVAL PAINT FOR WALLS TO BE WASHABLE LATEX, EGGSHELL FNISH. PAINT FOR DOORS, BASE BOARDS, CASINGS & TRIMS TO BE WASHABLE LATEX,
- SEMI-GLOSS FINISH
- PAINT FOR CEILINGS TO BE WASHABLE LATEX, FLAT FINISH. TEST PATCH TO BE DONE PRIOR TO PAINTING FOR DESIGNER APPROVAL
- REFER TO PLANS AND ELEVATIONS FOR TILE SIZES. PATTERNS AND LAYOUT. ALL EXPOSED EDGES OF BASE, WALL, OR CEILING TILE TO BE 1/4 ROUND 12
- GROUND AND POLISHED TO EXPOSED EDGE ALL NATURAL STONE TILES TO BE HONED, ALL PORCELAIN FLOOR TILES TO BE 13 SLIP RESISTANT AND MEET DCOF >0.42 STANDARD
- ALL WOOD FLOORING TO FOLLOW MANUFACTURER'S INSTALLATION GUIDELINES MILLWORKER TO PROVIDE SAMPLES OF ALL MILLWORK FINISHES FOR DESIGNER'S APPROVAL

DOOR GENERAL NOTES

- VERIFY FRAME OPENING WITH MANUFACTURER AND FIELD VERIFY ALL ROUGH OPENING.
- GLAZING SHALL MEET STANARDS AS SET FOURTH IN CHAPTER 3.3.1.19 NBCAE - TRANSPARENT DOORS AND PANELS.
- ALL EXTERIOR DOORS AND FRAMES SHALL BE INSULATED.
- VERIFY ALL DOOR HARDWARE AND ALL DOOR HANDINGS PRIOR TO ORDERING. DOOR HARDWARE TO BEAPPROVED BY CLIENT.
- ALL EXTERIOR FRAME AND DOOR COLOURS TO BE CONFIRMED WITH THE ARCHITECT. ALL INTERIOR FRAME AND DOOR
- COLOURS TO BE CONFIRMED WITH INTERIOR DESIGNER. SEE HARDWARE SCHEDULE BY HARDWARE CONSULTANT FOR
- ALL HARDWARE GROUPS DESCRIPTION. ALL DOOR GLAZING IN EXTERIOR DOORS TO BE TRIPLE GLAZED
- TEMPERED GLASS. ALL EXTERIOR DOORS SHALL BE INSULATED C/W ALUMINUM THRESHOLD AND WEATHERSTRIPPING, AS APPLICABLE.

SUPPLEMENTARY NOTES

CONTRACTOR SHALL HAVE THE GEOTECHNICAL ENGINEER INSPECT THE SITE AND SHALL CONSULT HIM ON FOUNDATION. GROUND WATER CONTROL, DRAINAGE REQUIREMENT, AND WATER PROOFING, PRIOR TO BACK-FILL OR POURING BASEMENT CONCRETE SLAB.

EXTERIOR WALL SCHEDULE					
WALL TYPE	TYPE COMMENTS				
EW1	IMPROVED EXISTING WALL	EXISTING WOOD SIDING - REFINISH EXI EXISTING SHEATHING EXISTING WOOD STUDS 2x3 WOOD STUDS HORIZONTAL @24" O DENSE PACK CELLULOSE INSULATION SIGA MAJREX OR EQUAIVALENT TAPED 1/2" GYPSUM BOARD			
EW2	WOOD SIDING WALL	WOOD SIDING TO MATCH EXISTING SID 3/8" STRAPPING FOR DRAINAGE CAVITY 2PLY VAPOUR PERMEABLE MOISTURE I 1/2" EXTERIOR GRADE PLYWOOD SHEA 12" (OUTSIDE TO OUTSIDE DIMENSION) DENSE PACK CELLULOSE INSULATION 6 mil POLY VAPOUR RETARDER (SEALEI 1/2" GYPSUM BOARD			
EW3	NEW WALL FOR EXISTING HOUSE	WOOD SIDING TO MATCH EXISTING SID 3/8" DRAINAGE CAVITY (OR TO MATCH E 2PLY VAPOUR PERMEABLE MOISTURE E 1/2" EXTERIOR GRADE PLYWOOD SHEA 2x4 WOOD STUDS @24" O.C. 2x2 WOOD STUDS HORIZONTAL@24" O. DENSE PACK CELLULOSE TO FILL CAVI SIGA MAJREX OR EQUIVALENT TAPED F 1/2" GYPSUM BOARD			
FW1	EXISTING FOUNDATION WALL	EXISTING CONC. FOUNDATION WALL			
FW2	8" CONC. FOUNDATION WALL W/ FROST WALL ETR = 3.45 R	PARGING C/W METAL LATH AT EXPOSE ELEVATIONS AND DETAILS FOR EXTENT DRAINAGE MAT WATER PROOFING (MIN. 4MM HOT RUB CONCRETE FOUNDATION WALL (REFER 2 LAYERS OF 2" RIGID INSULATION GLU 2" AIR SPACE 2x4 WOOD STUDS @24" O.C. R22 ROXUL BATT INSULATION 6 mil POLY VAPOUR RETARDER (SEALEI 1/2" GYPSUM BOARD			
FW4	PRECAST CONC. WALL @WINDOW WELL	PRECAST CONCRETE WALL (REFER TO			

INTERIOR PARTITION SCHEDULE

WALL TYPE	TYPE COMMENTS	DESCRIPTION
FR2	2X4 FUR-OUT WALL	1/2"GYPSUM BOARD 2x4 STUDS @ 16" O.C.
P1	2x4 INT. WALL	1/2" GYPSUM BOARD 2x4 WOOD STUDS @16" O.C. 1/2" GYPSUM BOARD
P1A	2X4 INT. WALL ACOUSTIC WALL	1/2" GYPSUM BOARD 2x4 WOOD STUDS @16" O.C. ACOUSTIC INSULATION 1/2" GYPSUM BOARD
P2A	2X6 INT. WALL ACOUSTIC WALL	1/2" GYPSUM BOARD 5 1/2" ACOUSTIC BATT INSULATION 2x6 WOOD STUDS @ 16" O.C. 1/2" GYPSUM BOARD
P3	2x3 INT. WALL	1/2" GYPSUM BOARD 2x4 WOOD STUDS @16" O.C SIDEWAYS 1/2" GYPSUM BOARD

		1		
FLOOR TYPE	TYPE COMMENTS	DESCRIPTI		
F1	EXISTING CONC. FLOOR	EXISTING CONCRETE FLOOR SLAB ON GRADE		
F2	EXISTING WOOD JOIST FLOOR	FINISH FLOORING (REFER TO FLOOR FINISHES DRAV EXISTING SUBFLOOR EXISTING FLOOR JOIST 1/2" GYPSUM BOARD		
F3	NEW CONC. FLOOR SLAB	FINISH FLOORING (REFER TO FLOOR FINISHES DRAW CONCRETE FLOOR SLAB ON GRADE (REFER TO STRU 4' x 8' x 2" RIGID INSULATION 6 mil POLY VAPOUR RETARDER (SEALED AND TAPED 4' x 4' x 2" RIGID INSULATION SPACED 3/4" - REFER TO COMPRESSION RATING 6" MIN. COMPACTED GRAVEL		
F4	WOOD JOIST FLOOR	FINISH FLOORING (REFER TO FLOOR FINISHES DRAV 3/4" T&G PLYWOOD SUBFLOOR PRE-ENGINEERED FLOOR JOISTS (REFER TO STRUC' 1 1/2" STRAPPING UNLESS NOTED OTHERWISE 1/2" GYPSUM BOARD		

ROOF SCHEDULE

YPE MARK	TYPE COMMENTS	DESCRIP
R1	IMPROVED EXISTING ROOF	COMPOSITE/WOOD CEDAR SHAKES (ICE DAMMING PROTE ROOF SHEATHING MEMBRANE EXISTING ROOF SHEATHING (PATCH AND REPLACE WHER EXISTING ROOF STRUCTURE R50 CELLULOSE INSTALLED FROM ABOVE (STOPS MIN. 1" SIGA MAJREX OR EQUIVALENT 1/2' GYPSUM BOARD
R2	NEW SLOPED ROOF	METAL STANDING SEAM ROOF ROOF UNDERLAYMENT SELF ADHERED MEMBRANE 3/4" PLYWOOD SHEATHING PRE-ENGINEERED WOOD TRUSSES (REFER TO STRUCTUF R50 BLOWN CELLULOSE INSULATION 6MIL. POLY VAPOR RETARDER 1/2" GYPSUM BOARD
R3	NEW FLAT ROOF	2PLY SBS MODIFIED BITUMINOUS MEMBRANE 1/2" FIBER BOARD (DENSEDECK PRIME) TAPERED RIGID INSULATION TO FORM SLOPE – MIN. 1" XP 3/4" PLYWOOD SHEATHING WOOD JOISTS (REFER TO STRUCTURAL DRAWINGS) MIN. 6" LOW GWP SPRAY FOAM INSULATION (2LB CLOSED 3/8" STRAPPING 6mil. POLY VAPOUR RETARDER 1/2" GYPSUM BOARD

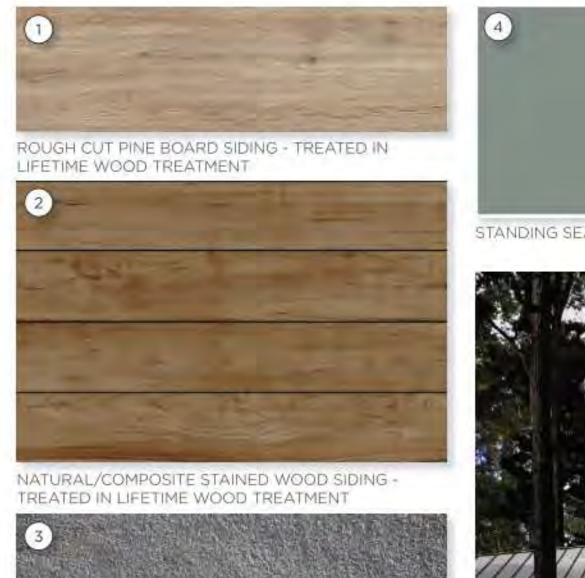
- FLOOR SCHEDULE

		SHUG	ARMAN
DESCRIPTION		ARCHITECTU	IRE+DESIGN INC
SH EXISTING WOOD SIDING		Suite 110, 1900 - 11 Street S.E.	Calgary, AB, Canada T2G 3G2
@24" O.C. ATION TO FILL CAVITY BETWEEN WOOD STUDS TAPED FOR AIR TIGHTNESS		Telephone: 403-230-0601 Facsimile: 403-230-0519	
NG SIDING PROFILE (TREATED IN LIFETIME WOOD TR CAVITY	EATMENT)	E-mail: info@shugarmanarchitec	ture.com
TURE BARRIER MEMBRANE) SHEATHING ISION) DOUBLE 2x4 WOOD STUDS @ 24" O.C. ISION DOUBLE 2x4 WOOD STUDS @ 24" O.C.		project architect	
ATION TO FILL THE CAVITY BETWEEN WOOD STUDS SEALED AT ALL JOINTS AND PENETRATIONS)			
NG SIDING PROFILE (TREATED IN LIFETIME WOOD TR ATCH EXISTING WHERE REQUIRED) TURE BARRIER MEMBRANE 9 SHEATHING (OR TO MATCH EXISTING SHEATHING T			
024" O.C. L CAVITY BETWEEN WOOD STUDS APED FOR AIR TIGHTNESS		seal	
ALL (POSED FOUNDATION FROM MIN. 12" BELOW GRADE EXTENTS)	TO U/S OF EXTERIOR FINISH (REFER TO EXTERIOR		
T RUBBERIZED ASPHALT) REFER TO STRUCTURAL DRAWINGS) N GLUED TO CONCRETE (JOINTS BETWEEN SHEETS	TO BE STAGGERED)		
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TAPED AT ALL JOINTS AND PANETRATIONS) FER TO STRUCTURAL ENGINEER ON ALLOWED		Copyright 2015 This design	is the exclusive property of the
S DRAWINGS)		Architect and shall not be re written permission.	produced without the Architect's aled. All dimensions, data and levels
STRUCTURAL DRAWINGS)		shall be verified before cons omissions reported immedia	truction, and all errors and
		client	
		BOWSTRI	
SCRIPTION PROTECTION UP 48" FROM EAVES)		FOUNDAT	
IIN. 1" FROM EXISTING SHEATHING)		project	
		RUTHERF	
UCTURAL DRAWINGS)		RESIDENC	È
. 1" XPS (SEE ROOF PLAN FOR SLOPE)			
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CONDITIONS OF DEVELOPMENT PERMIT APPROVAL

CONDITION	RESPONSE
(a) Pay to the Town of Banff the fees as established in Schedule G of the Land Use Bylaw: i. Additions and Renovations application fee of \$350 + \$148.50 (\$1.10/m2 for 135 m2 of additional area) for a total of \$498.50	To be completed prior to Building Permit Approval
(b) Pay Off-Site Levies in the amount of \$3,130.65 (\$23.19/ m2) in accordance with the Banff Off-Site Levies Bylaw	To be completed prior to Building Permit Approval
(c) Provide revised drawings, at a metric scale, for the review and approval of the Development Officer that are in conformance with the Land Use Bylaw and Banff Design Guidelines and include:	Drawings revised as noted
 i. Changes to the overall roof form of the proposed addition; ii. Changes to the roof materials of the proposed addition; iii. Confirmation that every off-street parking stall, and access thereto is hardsurfaced in accordance with section 8.13.1. Please note, 'self binding gravel' does not meet the definitions of Hardsurfacing; iv. An off-site improvement plan including a driveway width in accordance with section 8.16.27; v. Cross section of the addition from east property line through to the other side of the building, parallel to cross-sections 1 and 4, labelled with dimensions so that details of window well and eave projections can be clearly identified, in order to confirm compliance with setback and projection requirements of the Land Use Bylaw; vi. Parking stall dimensions to confirm compliance with section 8.16 of the Land Use Bylaw; and vii. Revised Floor Area Ratio calculation including the existing building, the addition's main 	
floor, and the area of the addition's basement that should be included as gross floor area.	
(d) Provide a materials sample board, for review and approval of the Development Officer for proposed exterior finishes	Digital material board included on drawing A002 - CONDITIONS OF DEVELOPMENT PERMIT APPROVAL Physical sample of metal roofing couriered to Town of Banff
 (e) Enter into Restrictive Covenant(s) and/or Agreements with the Town of Banff to be registered against the Certificate of Title for the property for the purposes of: i. Limiting the use of the property to Single Detached Housing with no more than six (6) bedrooms; ii. Identifying that Off-Site Levies have been collected immediately with respect to the development of 135 m2 and Off-Site Levies in respect to the remaining undeveloped Gross Floor Area are deferred and shall be payable at the time of future development based on the bylaw in effect at the time; and, iii. A Development Agreement. The terms and wording of the agreement(s) shall be to the satisfaction of the Development Officer. Pay the Town of Banff the Legal Agreement Surcharge of \$600 as established by Town of Banff Development Fee Schedule 'G' 	To be completed prior to Building Permit Approval
(i) Submit, for review and approval by the Director of Engineering, a detailed Storm-water Management Plan to City of Calgary and Alberta Environment and Parks standard showing drainage details for the property, relating to neighboring properties and public right of ways;	Note added to drawing A103 - DEVELOPMENT WILL NOT TIE INTO THE TOWN OF BANFF STORMWATER SYSTEM. STORMWATER TO DRAIN ALONG SOFT LANDSCAPING TO RIVER
(j) Submit a Construction Site Plan and provide description of soil and erosion control mitigations that will be used during construction for review and approval by the Development Officer	Soil and erosion control mitigations information included on drawing A104 - SEDIMENT AND EROS CONTROL PLAN
(k) Submit a proposed Construction Waste Management Plan that includes details of Construction Waste Storage Containers and stream separation in accordance with the Residential/Non-Residential Waste Bylaw, to the satisfaction of the Development Officer	Construction Waste Storage Containers and stream separation information included on drawing A105 - CONSTRUCTION HOARDING & WASTE COLLECTION PLAN
(I) Submit a Waste Management Plan form for review and approval by the Development Officer, which can be found here - https://banff.ca/FormCenter/Operations-7/Zero-CRD-Waste-Plan-155. Be advised that all projects that require a building permit in Banff must adhere to strict zero waste requirements, following deconstruction or green demolition principles. More information about the Zero Waste Requirements can be found here - https://banff.ca/1173/Zero-Waste- Requirements-for-Building-Per.	Online application completed.
(m) Submit a Site De-Watering Plan for review and approval of the Director of Engineering and Parks Canada Environmental Assessment Office	Geotechnical testing did not detect any water - Site De-Watering Plan not required
(n) Submit a Construction Hoarding Plan for the site including proposed height, colour, location of access points and any off-site encroachments associated with the required construction hoarding, in accordance with the Town of Banff Policy C3000, for review and approval by the Development Officer. For further information see www.banff.ca/DocumentCenter/View/5911. All existing trees to be retained shall be protected by fencing set at the outer canopy (drip line) of the tree during demolition, excavation and construction	Construction Waste Storage Containers and stream separation information included on drawing A105 - CONSTRUCTION HOARDING & WASTE COLLECTION PLAN
(o) Submit a proposed Truck Route and Traffic Plan for construction vehicles. Show locations of all on-site storage (e.g. material, equipment, etc.) during construction	Truck Route/Traffic Plan included on drawing A102 - PROPOSED SITE PLAN
(p) Submit a detailed cost estimate, as determined by the Landscape Architect, for all on and off-site landscaping specifying all plant materials, their size, numbers, location and species. Provide an irrevocable letter of credit in the amount of 125% of the cost of landscaping to secure completion of this work	Submitted to Town of Banff Development Officer
(q) Submit a detailed cost estimate, as determined by the contractor or Landscape Architect, for all on-site hard-surfaced areas (driveway, parking area, walkways, patios) and repair of off-site surfaces (roadway, sidewalk, curb/gutter, driveway crossing) specifying type of materials and finishes. Provide an irrevocable letter of credit in the amount of 125% of the cost of finishing and repairing all hard surfaced areas to secure completion of this work	Submitted to Town of Banff Development Officer
(r) Submit a completed Subcontractor Information Sheet to Town of Banff Business Licensing, Corporate Services Department, providing a list of the sub-contractors to be employed in the construction of the development	To be completed prior to approval of Building Permit
 (s) Provide written confirmation, to the satisfaction of the Development Officer, that the following requirements are completed/provided to Parks Canada: Completion of assessment and determination under the Impact Assessment Act, Section 82. Prior to completing the determination of impacts the following is required: A project notice must be posted for 30-days on the Impact Assessment Registry of Canada website for public comment Pre-demolition survey for bats, completed by a Qualified Environmental Professional. Completion of the Town of Banff Model Class Screening Report Form for buildings. Geotechnical investigation to confirm soil quality and any dewatering requirements. Please contact Parks Canada at least one-week prior to the geotechnical investigation to obtain the appropriate mitigations. Pre-impact archaeological assessment consisting of hand shovel excavation by a consulting archaeologist. The pre-impact archaeological assessment shall be completed prior to any geotechnical investigation to avoid impacts to undiscovered artefacts. 	To be completed prior to approval of Building Permit

22DP19 - RUTHERFORD RESIDENCE - DIGITAL MATERIAL BOARD



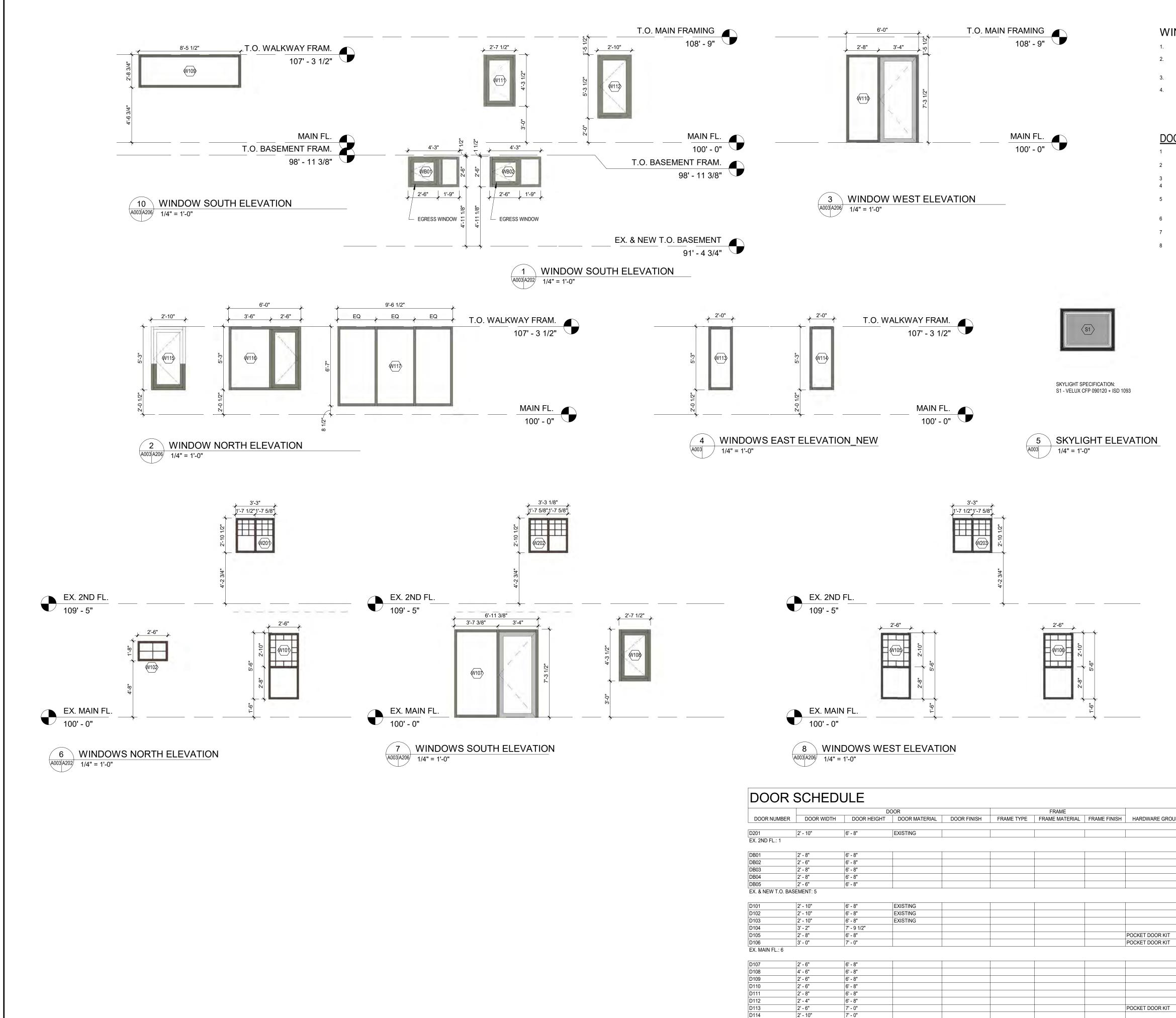


PARGING - COLOUR TO MATCH EXTERIOR CONCRETE





SHUG. ARCHITECTU	ARMAN
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MAIN FL.: 8 Grand total: 20

WINDOW SCHEDULE NOTES

- 1. WINDOW DIMENSIONS ARE FOR ROUGH OPENING UNLESS NOTED OTHERWISE.
- 2. ALL FRAMES ARE ALUMICOR THERMAWALL2600 ANODIZED ALUMINUM UNLESS NOTED OTHERWISE. CUSTOM COLOUR
- 3. ALL WINDOWS SHALL BE SEALED TRIPLE-GLAZED UNITS.
- ALL BEDROOM EGRESS WINDOWS TO CONFORM TO THE BUILDING CODE. NOTIFY THE ARCHITECT IF THERE ARE ANY CHANGES TO THE WINDOW SIZES SHOWN BELOW, PRIOR TO CONSTRUCTION.

DOOR GENERAL NOTES

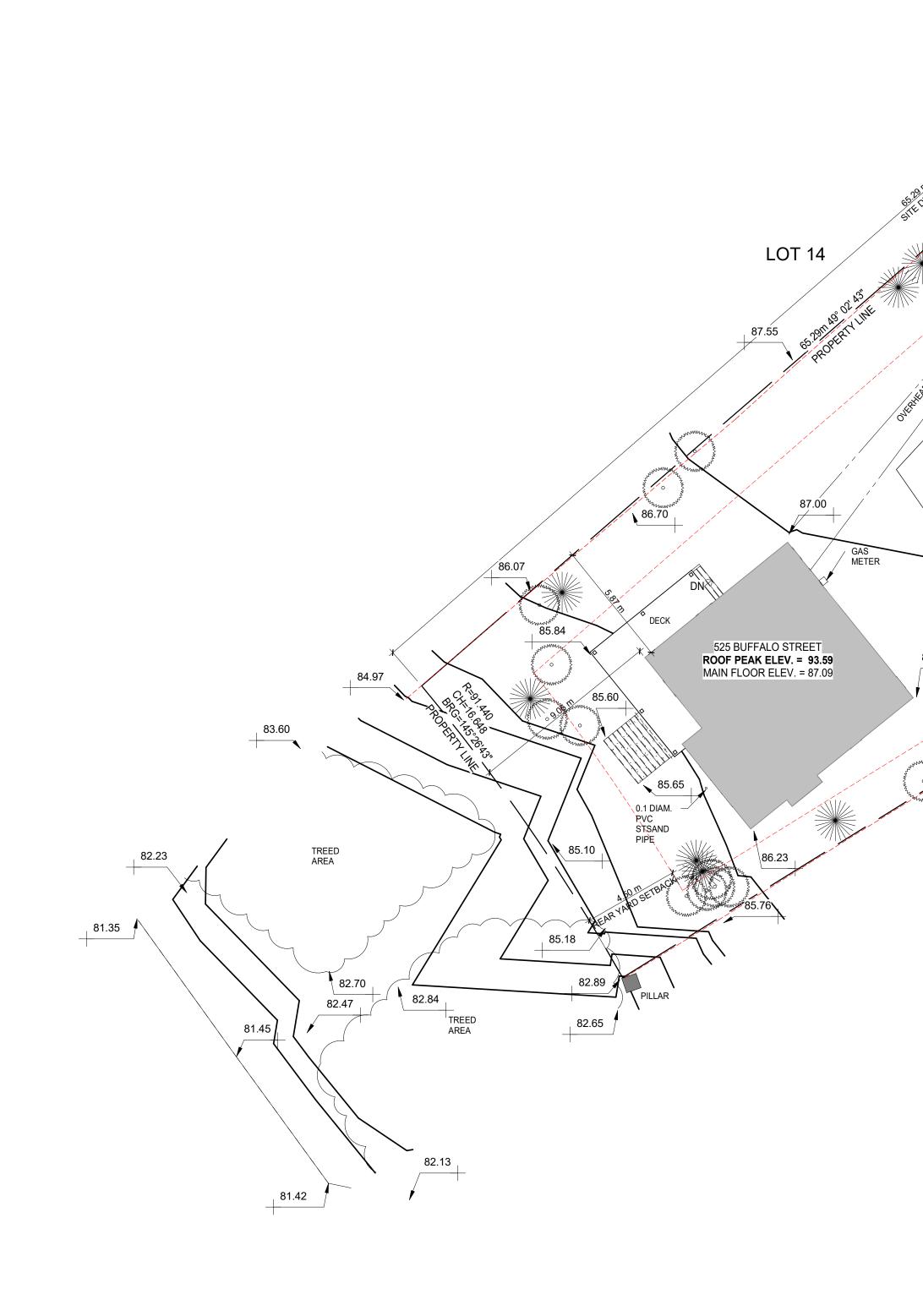
- 1 VERIFY FRAME OPENING WITH MANUFACTURER AND FIELD VERIFY ALL ROUGH OPENING.
- 2 GLAZING SHALL MEET STANARDS AS SET FOURTH IN CHAPTER 3.3.1.19 NBCAE - TRANSPARENT DOORS AND PANELS.
- 3.3.1.19 NBCAE TRANSPARENT DOURS AND PANELS. 3 ALL EXTERIOR DOORS AND FRAMES SHALL BE INSULATED.
- VERIFY ALL DOOR HARDWARE AND ALL DOOR HANDINGS PRIOR TO ORDERING. DOOR HARDWARE TO BEAPPROVED BY CLIENT.
- 5 ALL EXTERIOR FRAME AND DOOR COLOURS TO BE CONFIRMED
- WITH THE ARCHITECT. ALL INTERIOR FRAME AND DOOR COLOURS TO BE CONFIRMED WITH INTERIOR DESIGNER.
- 6 SEE HARDWARE SCHEDULE BY HARDWARE CONSULTANT FOR ALL HARDWARE GROUPS DESCRIPTION.
- 7 ALL DOOR GLAZING IN EXTERIOR DOORS TO BE TRIPLE GLAZED TEMPERED GLASS.
- 8 ALL EXTERIOR DOORS SHALL BE INSULATED C/W ALUMINUM THRESHOLD AND WEATHERSTRIPPING, AS APPLICABLE.

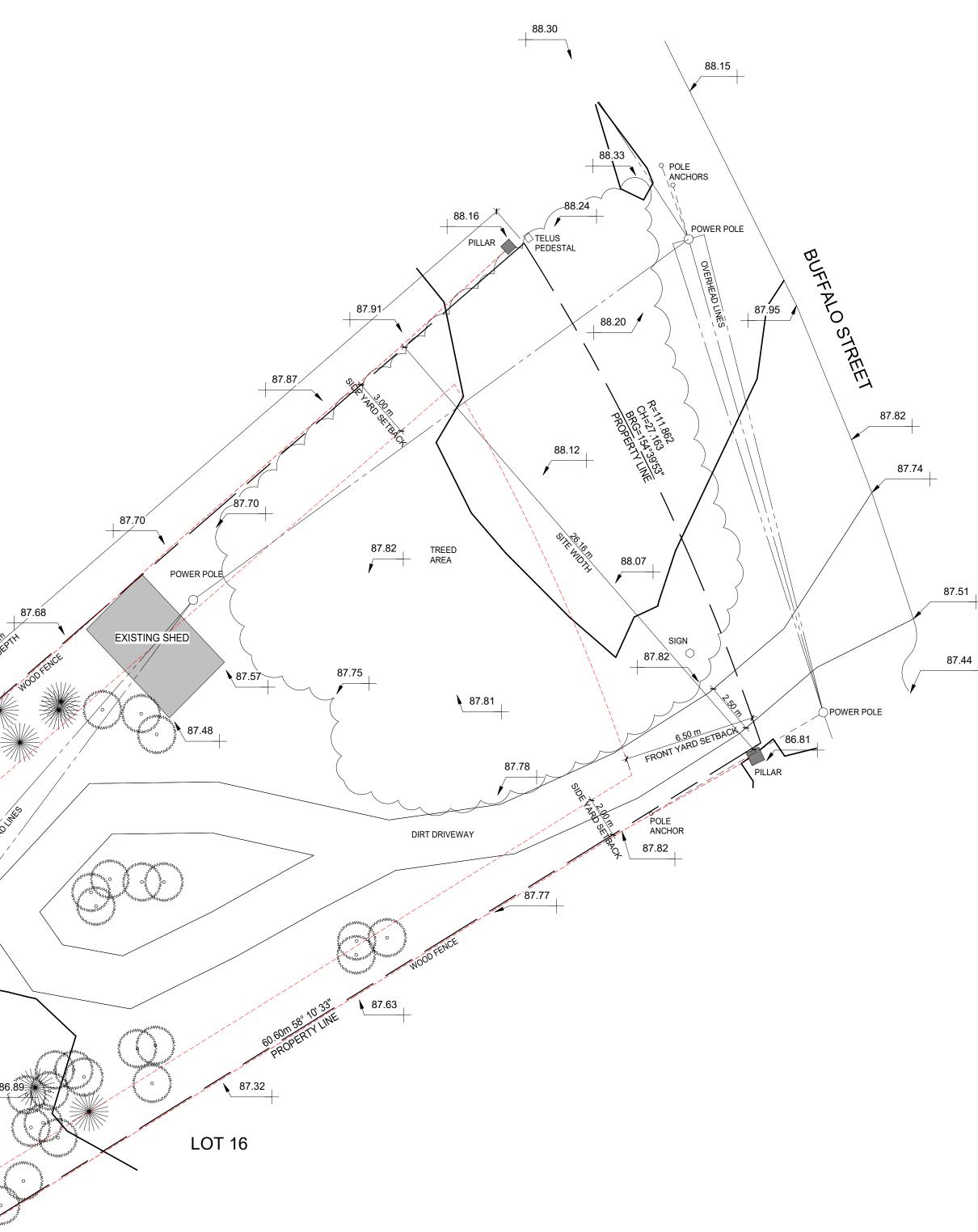
EX. 2ND FL. 109' - 5"

$\underbrace{P}_{\text{A003} \text{A206}} = 1'-0"$					
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	1 1 1 1 1 1		EXISTING DOOR TO REMAIN - REFINISHED EXISTING DOOR TO REMAIN - REFINISHED EXISTING DOOR TO REMAIN - REFINISHED DOOR HEIGHT TO MATCH EXISTING INTERIOR DOOR		
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Suite 110, 1900 - 11 Street S.E. Telephone: 403-230-0601 Facsimile: 403-230-0519	Calgary, AB, Canada T2G S	3G2
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PROJECT STATISTICS

ADDRESS: 525 BUFFALO STREET LEGAL DESCRIPTION: LOT 15, BLOCK B, PLAN 50017

SITE AREA

LOT AREA: 1,369 m² SITE WIDTH: 26.16 m SITE DEPTH: 65.29 m SITE COVERAGE ALLOWED: 30% MAX. = 410.4 m² EXISTING BUILDING SITE COVERAGE: 6.4%, 87.4 m² EXISTING SHED SITE COVERAGE: 1.7%, 22.9 m² PROPOSED SITE COVERAGE: 12.2%, 167.2 m²

GROSS BUILDING FLOOR AREA EXISTING BASEMENT: 0.0 M² GROUND EXISTING: 86.6 M² SECOND EXISTING: 21.4 M²

SECOND EXISTING: 21.4 M² TOTAL: 108.0 M² PROPOSED BASEMENT: 55.1 M²

GROUND EXISTING: 69.7 M² SECOND EXISTING: 21.4 M² ADDITION: 80.4 M² TOTAL: 226.6 M² TOTAL INCREASE: 118.6M²

SETBACKS (YARDS) REQUIRED: FRONT (EAST) = 6.5m REAR (WEST) = 4.5m SIDE (NORTH) = 3.0m

SIDE (SOUTH) = 2.0m BUILDING HEIGHT ALLOWED: 8.0m BUILDING HEIGHT OF PROPOSED ADDITION: 3.78m

FAR ALLOWED: .35 FAR PROPOSED: 193 m²/1,369 m²=.14

GEODETIC ELEVATIONS OF SITE

EXISTING FINISHED MAIN FLOOR = 87.09 EXISTING ROOF RIDGE = 93.59 PROPOSED FINISHED MAIN FLOOR (ADDITION) = 87.09 PROPOSED ROOF RIDGE (ADDITION) = 91.86

SITE GRADING LEGEND

665.15 EXISTING ELEVATION

665.15

NEW PROPOSED ELEVATION





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project architect

seal

consultant

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client

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project

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EXISTING SITE PLAN

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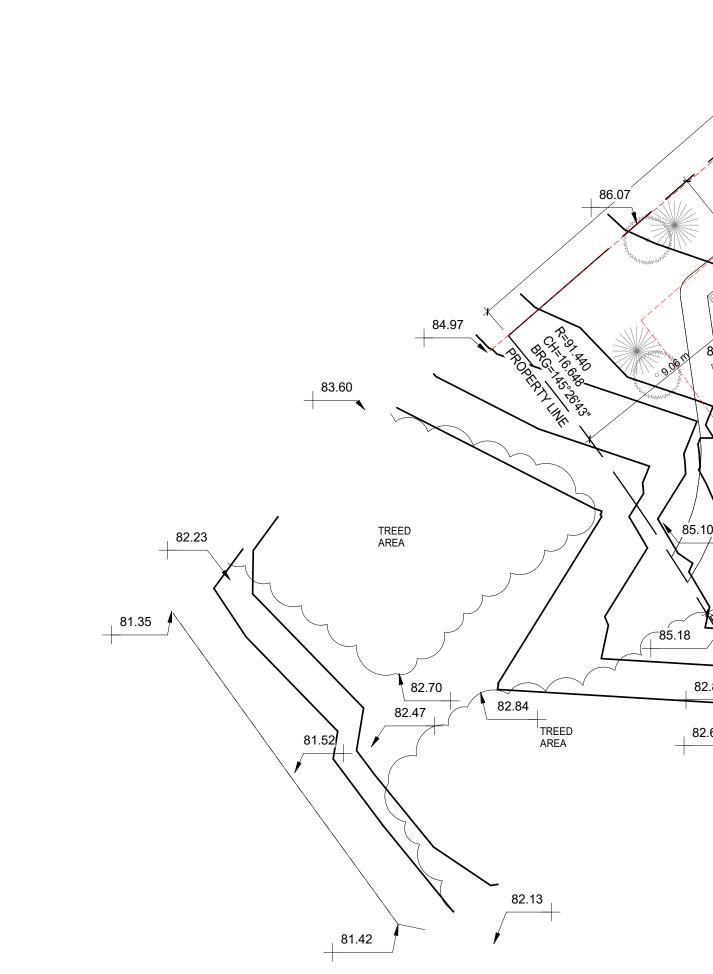
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TRUCK ACCESS ROUTE N.T.S.



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BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

PROPOSED SITE PLAN

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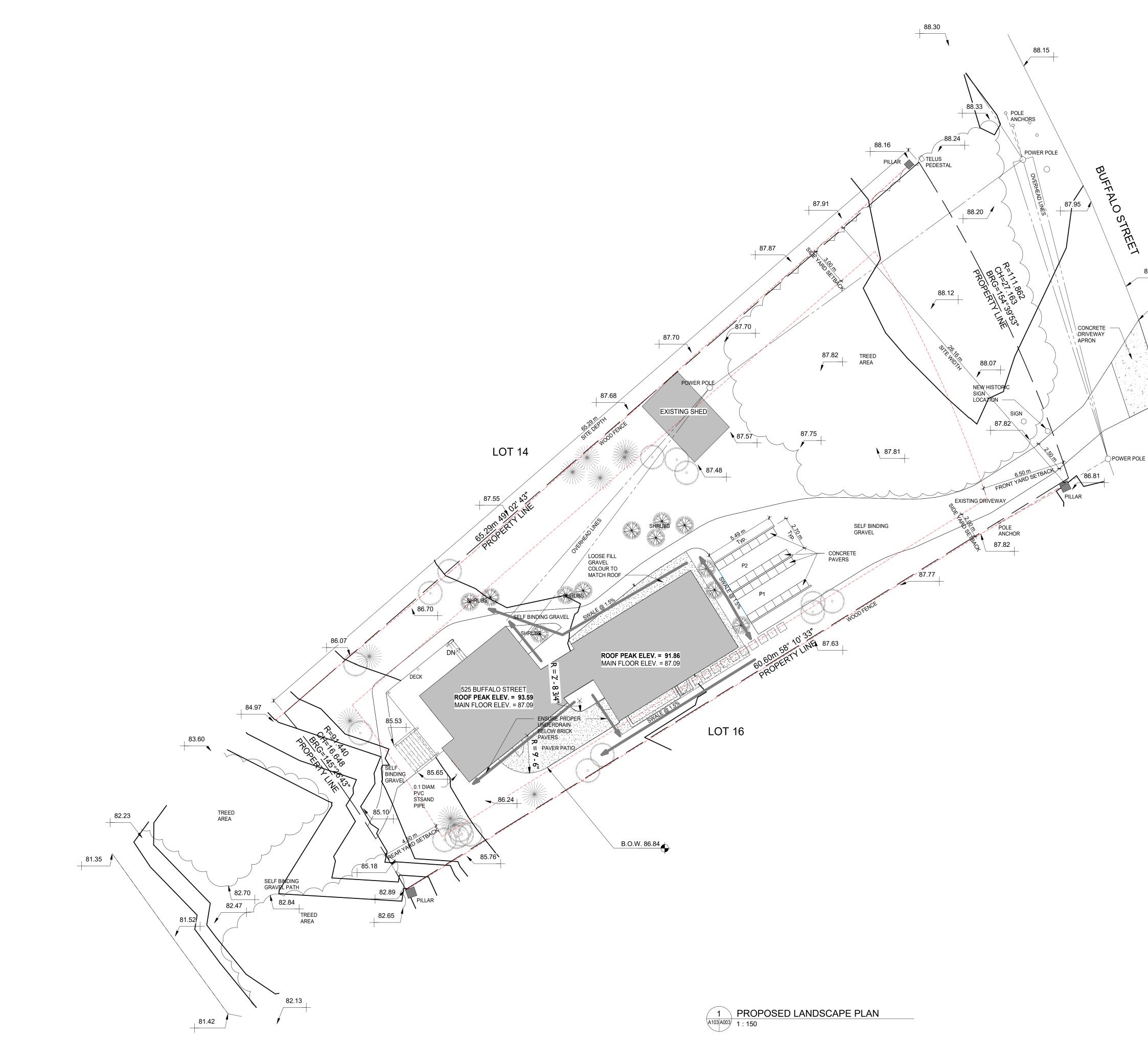
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acsimile: 403-230-0519
-mail: info@shugarmanarchitecture.com

project architect

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GEODETIC ELEVATIONS OF SITE

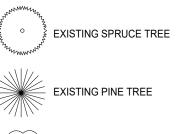
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SITE GRADING LEGEND

665.15 665.15

EXISTING ELEVATION NEW PROPOSED ELEVATION

LANDSCAPE LEGEND



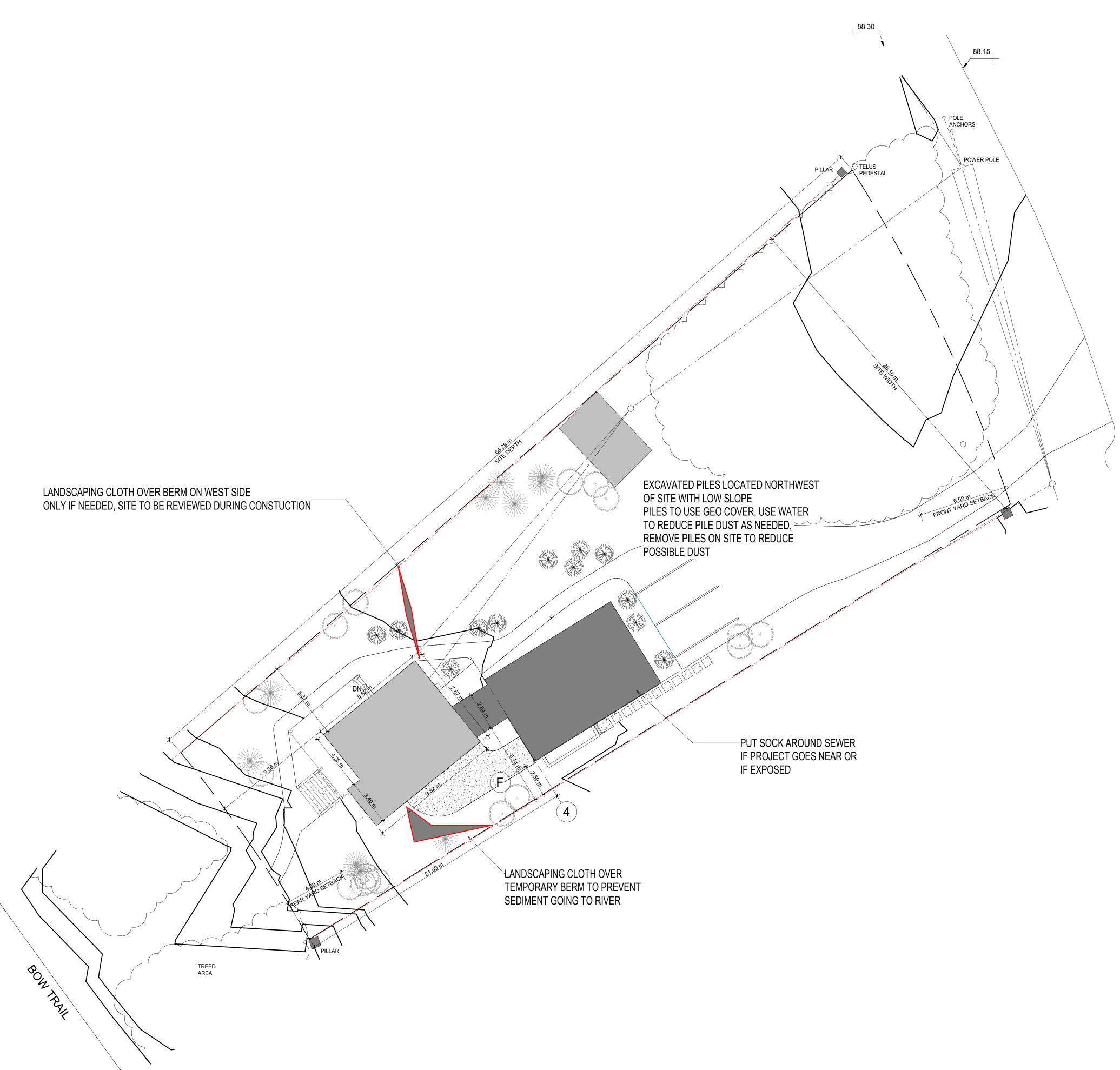
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STORMWATER MANAGEMENT

DEVELOPMENT WILL NOT TIE INTO THE TOWN OF BANFF STORMWATER SYSTEM. STORMWATER TO DRAIN ALONG SOFT LANDSCAPING TO RIVER

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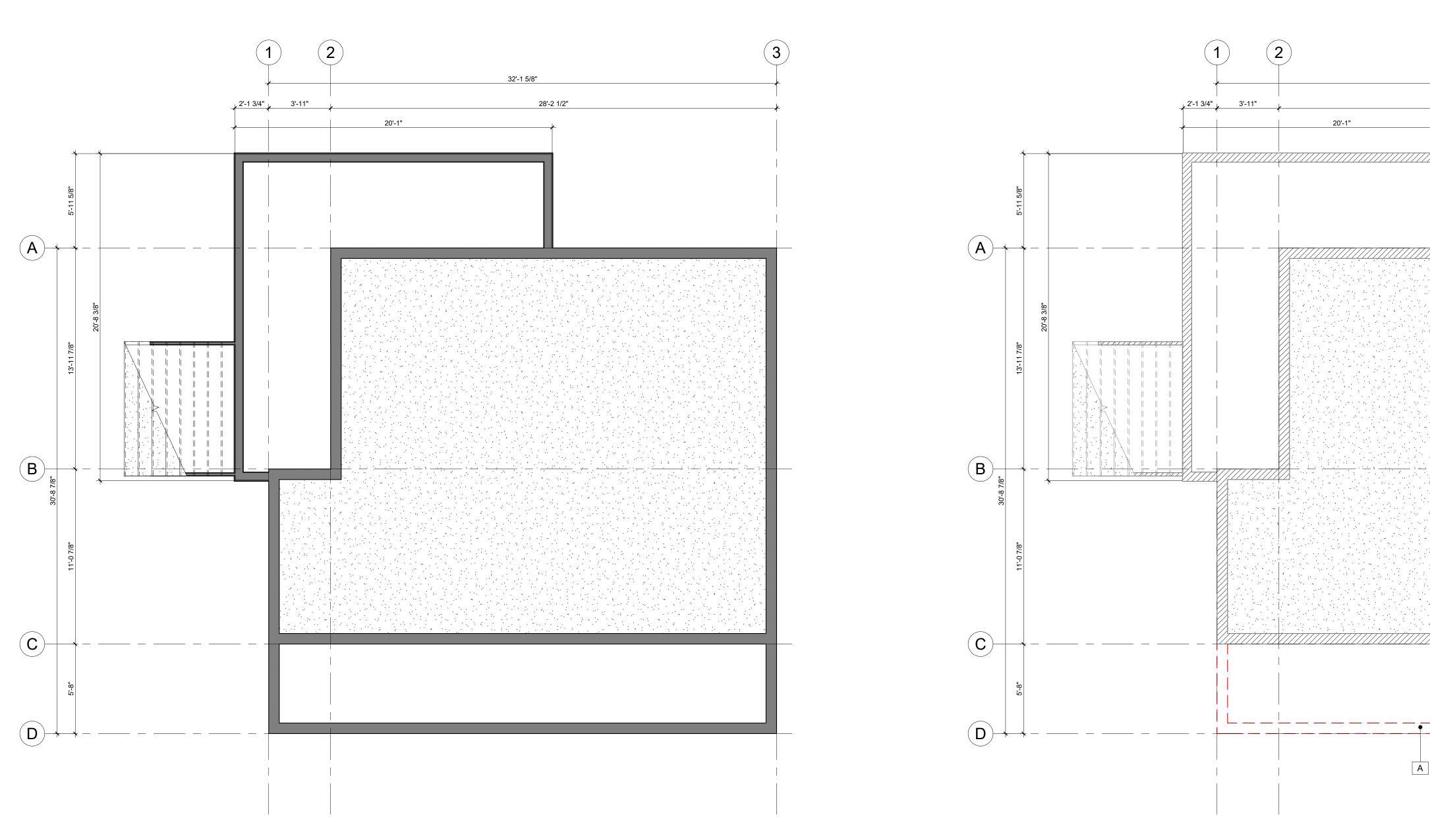
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DRAFT SITE HOARDING GRAPHICS



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1 EXISTING FOUNDATION PLAN A201 A003 1/4" = 1'-0"

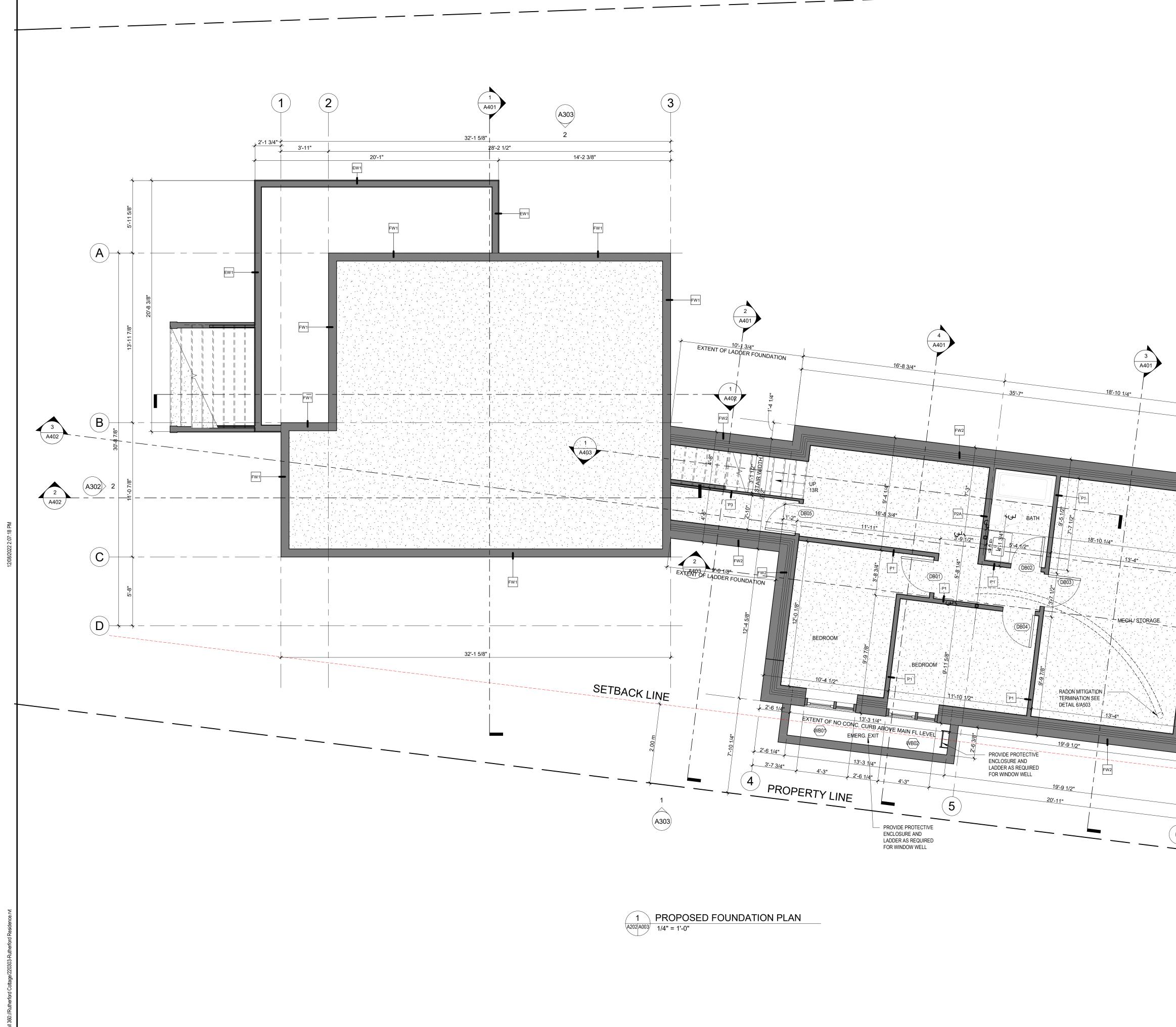
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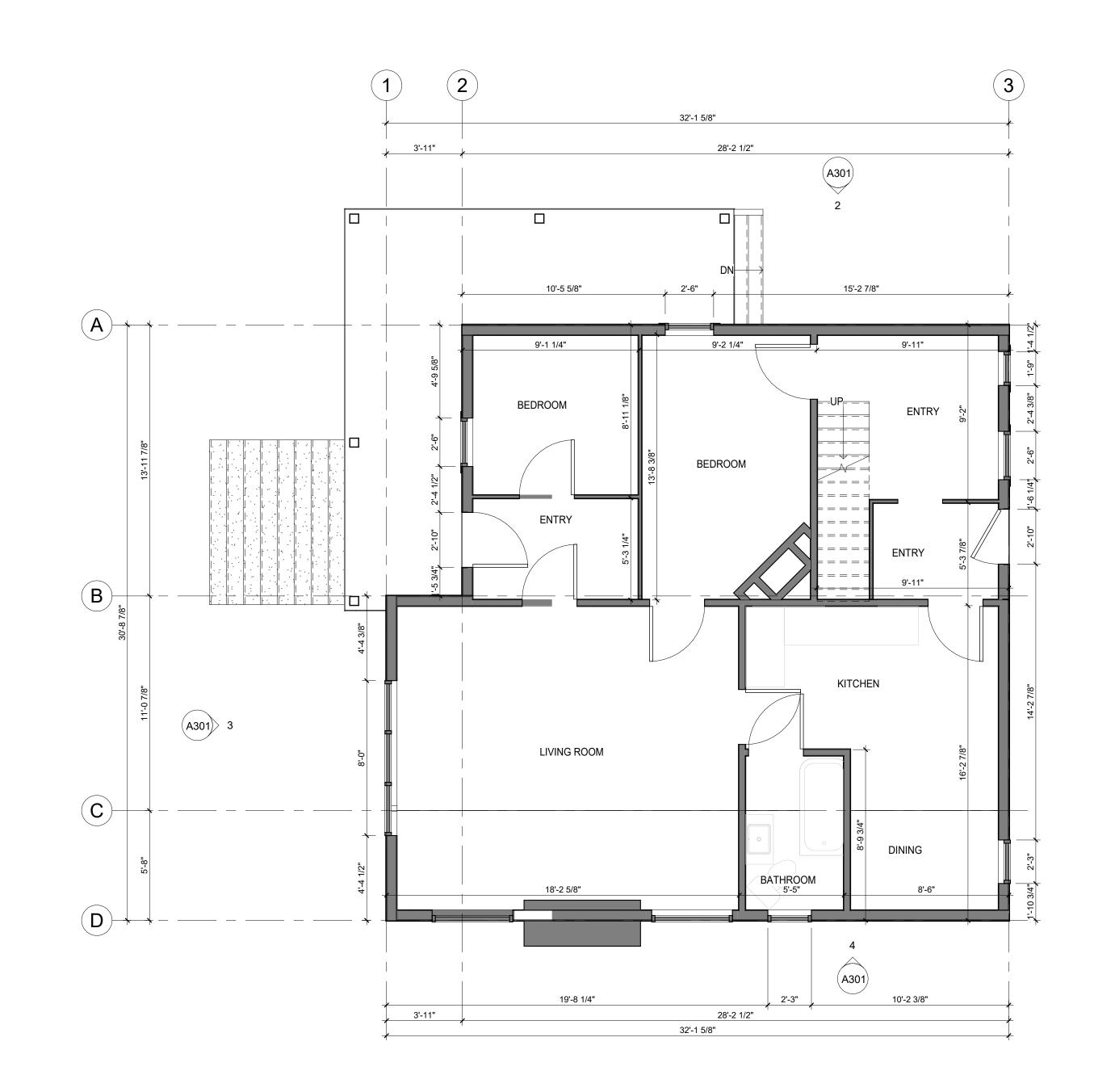
2 FOUNDATION DE A201 A003 1/4" = 1'-0"

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A	REMOVE EXISTING CONCRETE FOUNDATION WALL.
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С	REMOVE EXISTING DOOR AND FRAME. DOOR TRIMS
D	REMOVE EXISTING DOOR AND FRAME. INFILL WITH W
E	REMOVE EXISTING DOOR AND FRAME.
F	REMOVE EXISTING PLUMBING FIXTURES.
G	REMOVE EXISTING BRICK FIREPLACE AND CHIMNEY.
Н	REMOVE EXISTING WINDOW AND FRAME. INFILL WITH REMAIN. EXISTING EXTERIOR FINISHES TO BE REFINI
	REMOVE EXISTING KITCHEN MILLWORK. PATCH AND
J	REMOVE EXISTING SCREENS AT EXISTING DECK.
K	REMOVE EXISTING INTERIOR SHEATHING/FINISH AND FOAM INSULATION. SAVE EXISTING TRIMS AND BASE FOR ALL EXISTING EXTERIOR WALLS THAT REMAIN.
L	REMOVE EXISTING INTERIOR WINDOW TRIMS TO ACC REFINISHD AND REUSED WHERE POSSIBLE.
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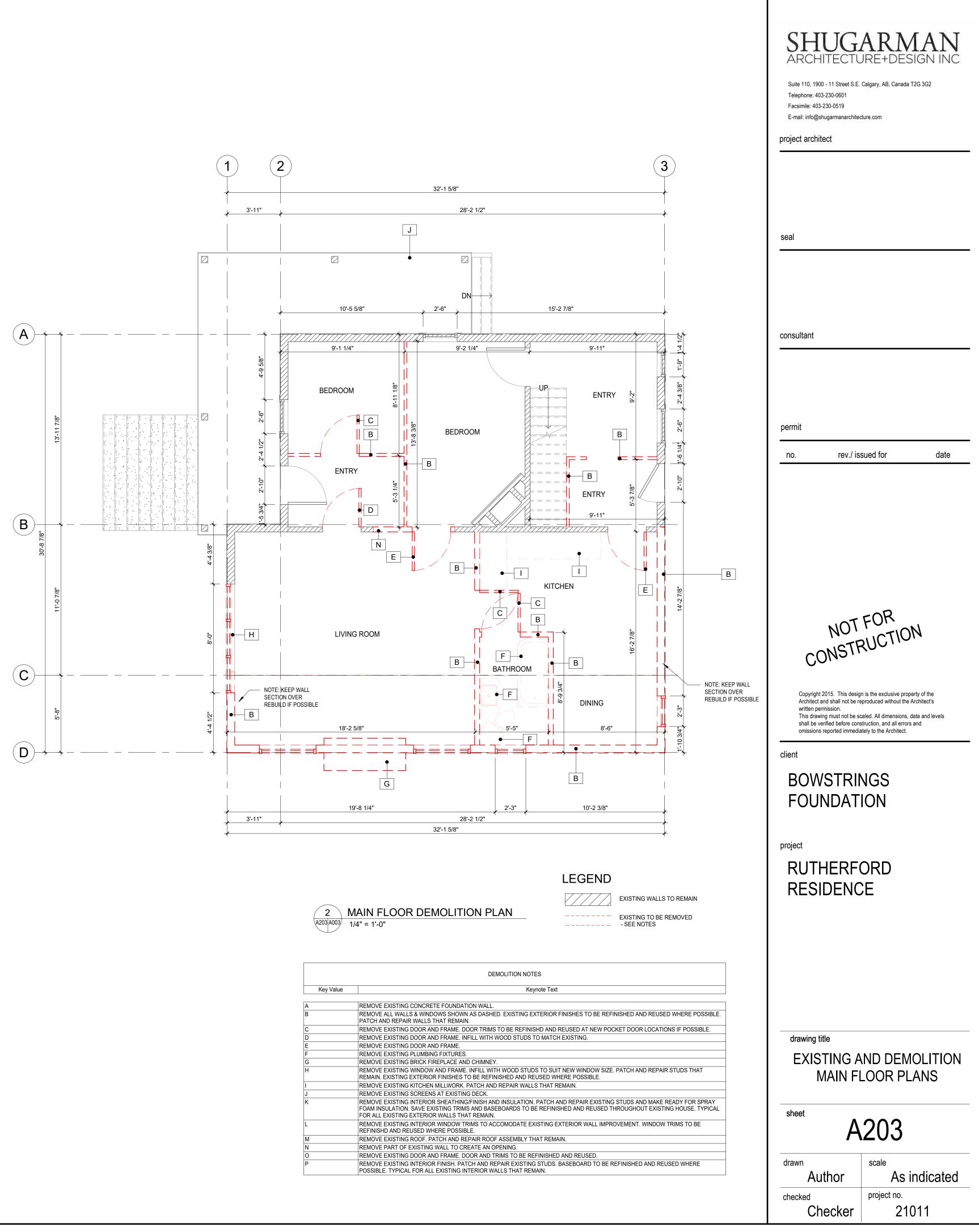
	SHUGARNAN ARCHITECTURE+DESIGN INC Suite 110, 1900 - 11 Street S.E. Calgary, AB, Canada T2G 3G2 Telephone: 403-230-0601 Facsimile: 403-230-0519 E-mail: info@shugarmanarchitecture.com
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LL. SHED. EXISTING EXTERIOR FINISHES TO BE REFINISHED AND REUSED WHERE POSSIBLE. IMS TO BE REFINISHD AND REUSED AT NEW POCKET DOOR LOCATIONS IF POSSIBLE. TH WOOD STUDS TO MATCH EXISTING. VEY. WITH WOOD STUDS TO SUIT NEW WINDOW SIZE. PATCH AND REPAIR STUDS THAT	drawing title EXISTING AND DEMOLITION FOUNDATION PLANS
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D TRIMS TO BE REFINISHED AND REUSED. PREPAIR EXISTING STUDS. BASEBOARD TO BE REFINISHED AND REUSED WHERE WALLS THAT REMAIN.	drawnscaleAuthorAs indicatedcheckedproject no.Checker21011

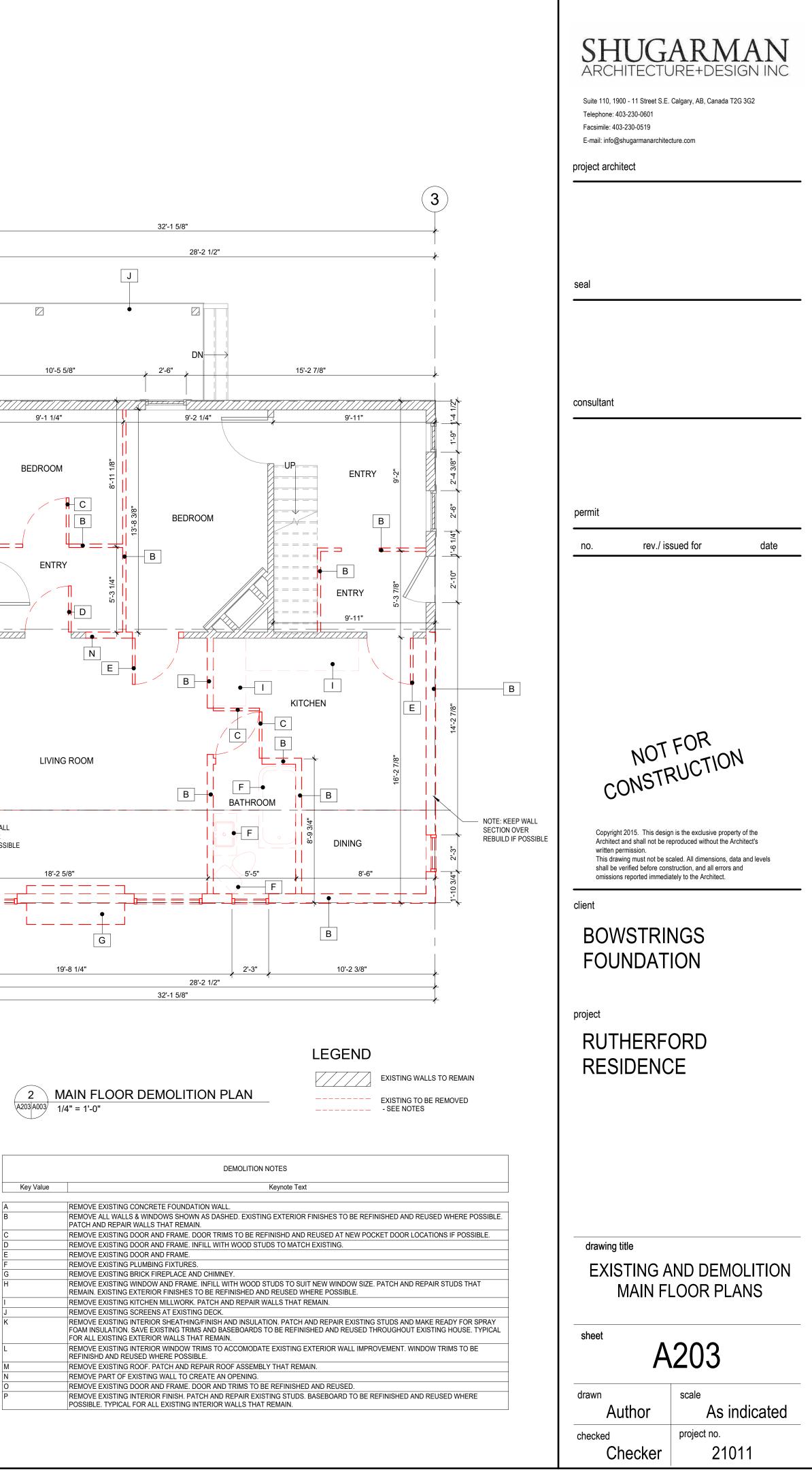


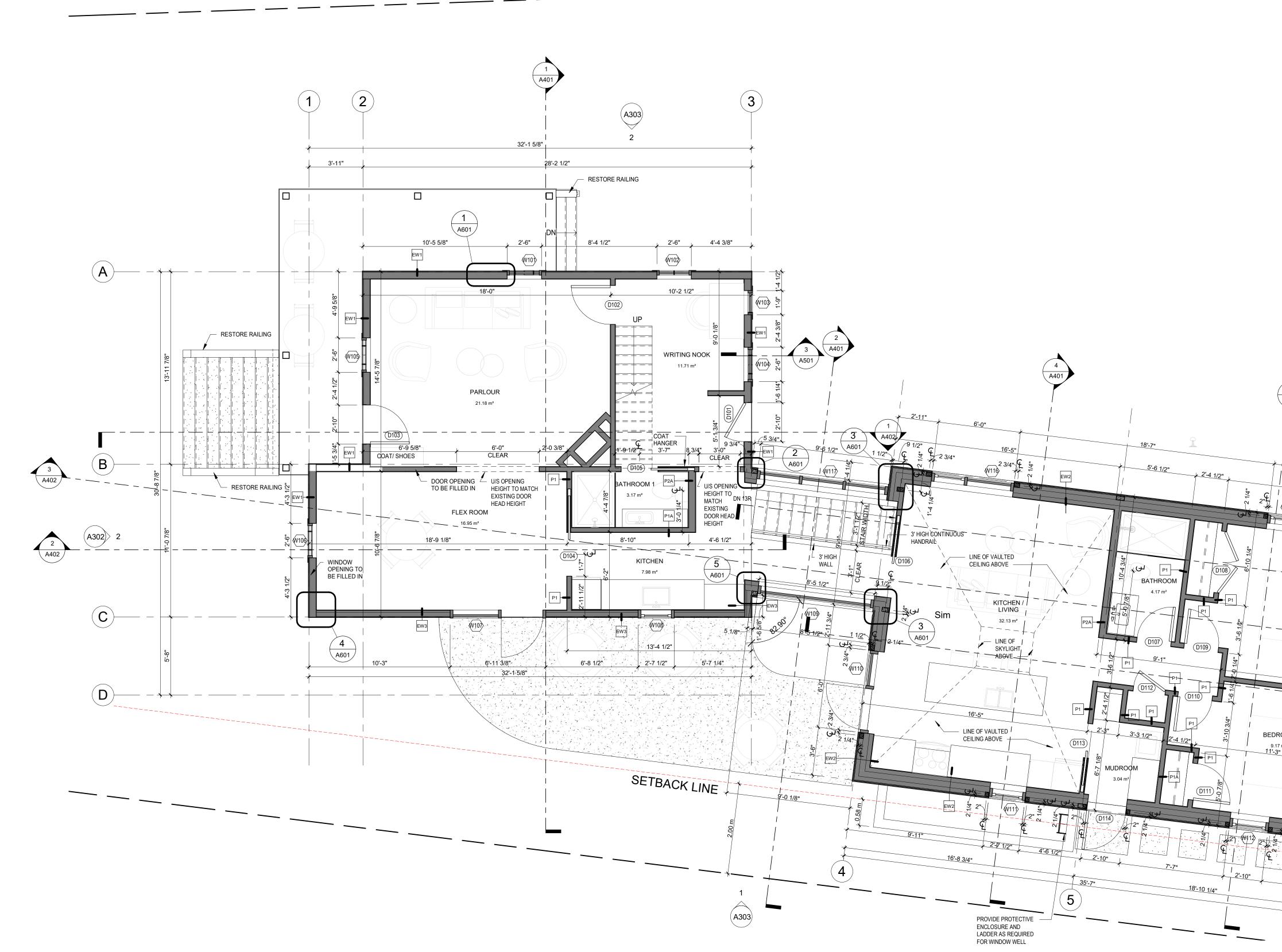
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drawing title PROPOSED FOUNDATION PLAN sheet A2002 drawn scale Author 1/4" = 1'-0" checked project no. Checker 21011



1 EXISTING MAIN FLOOR PLAN A203 A003 1/4" = 1'-0"

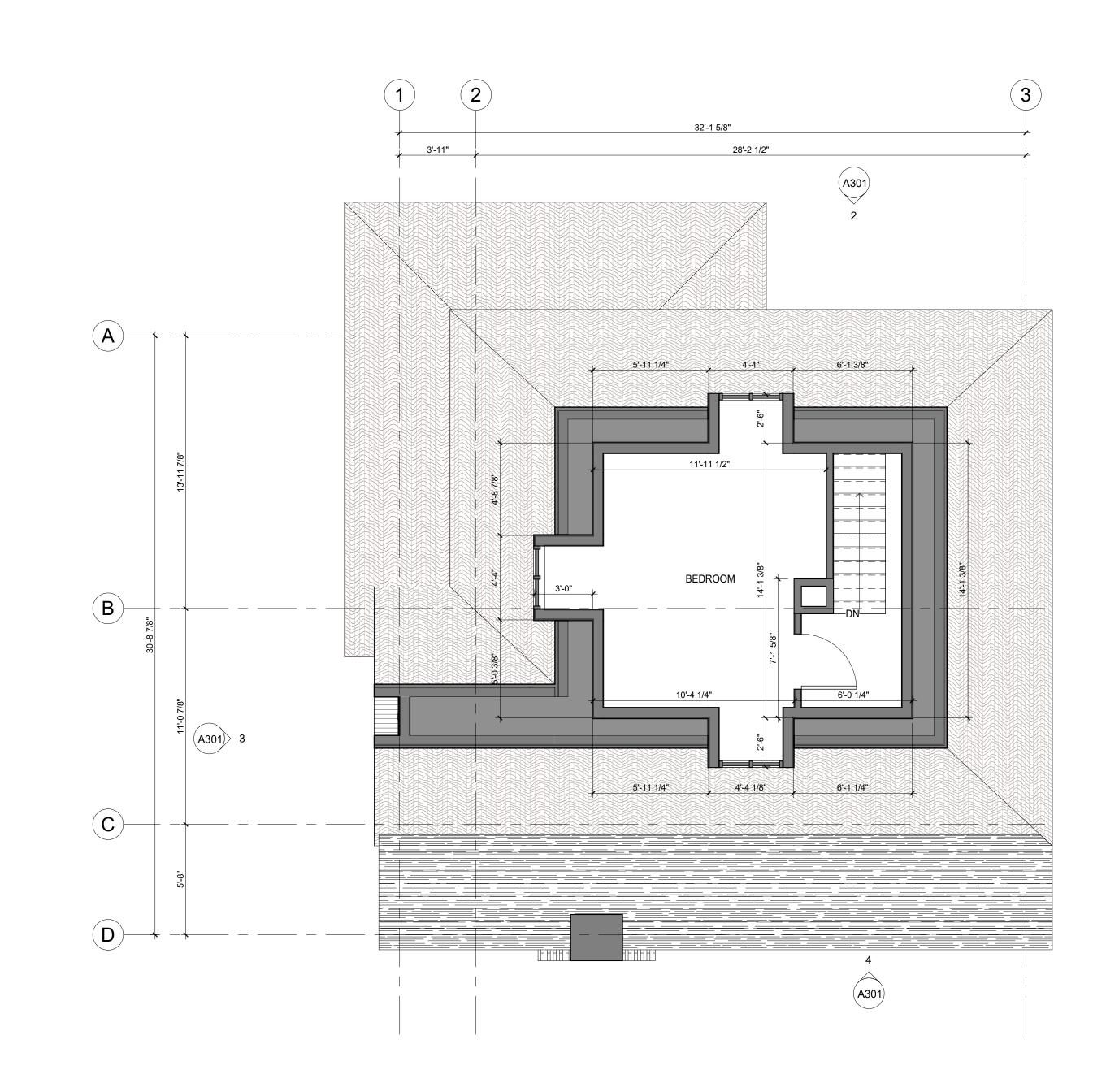




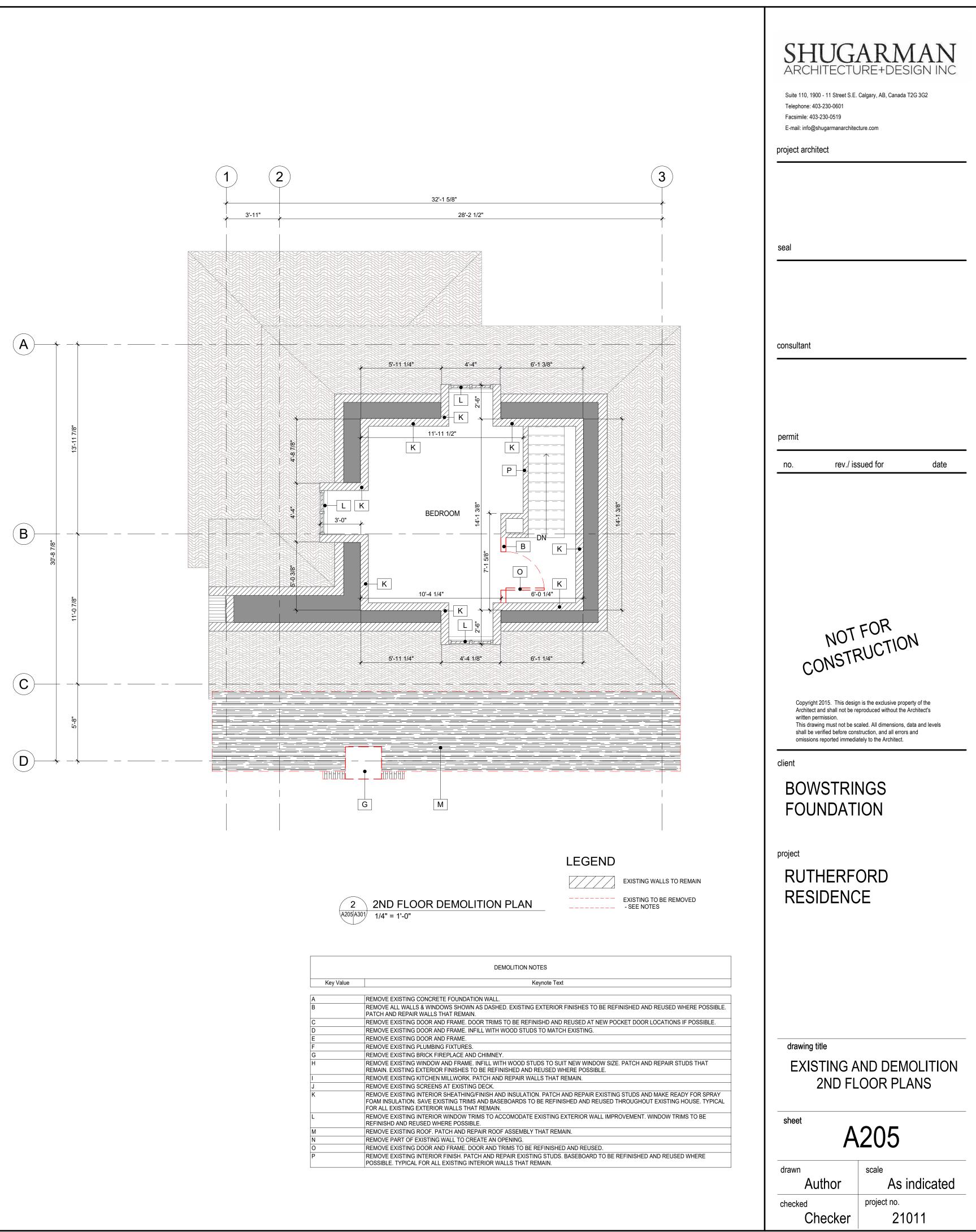


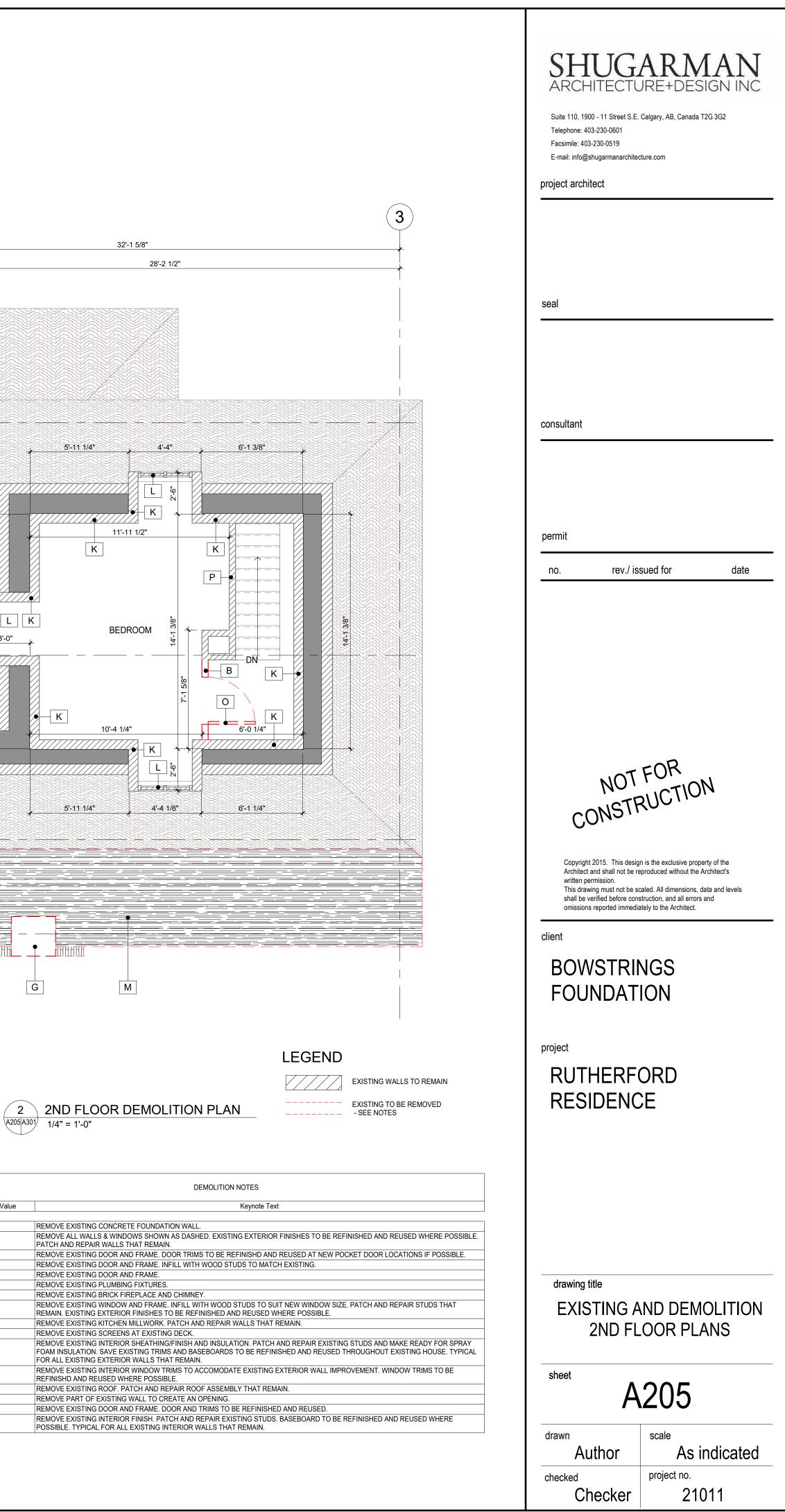


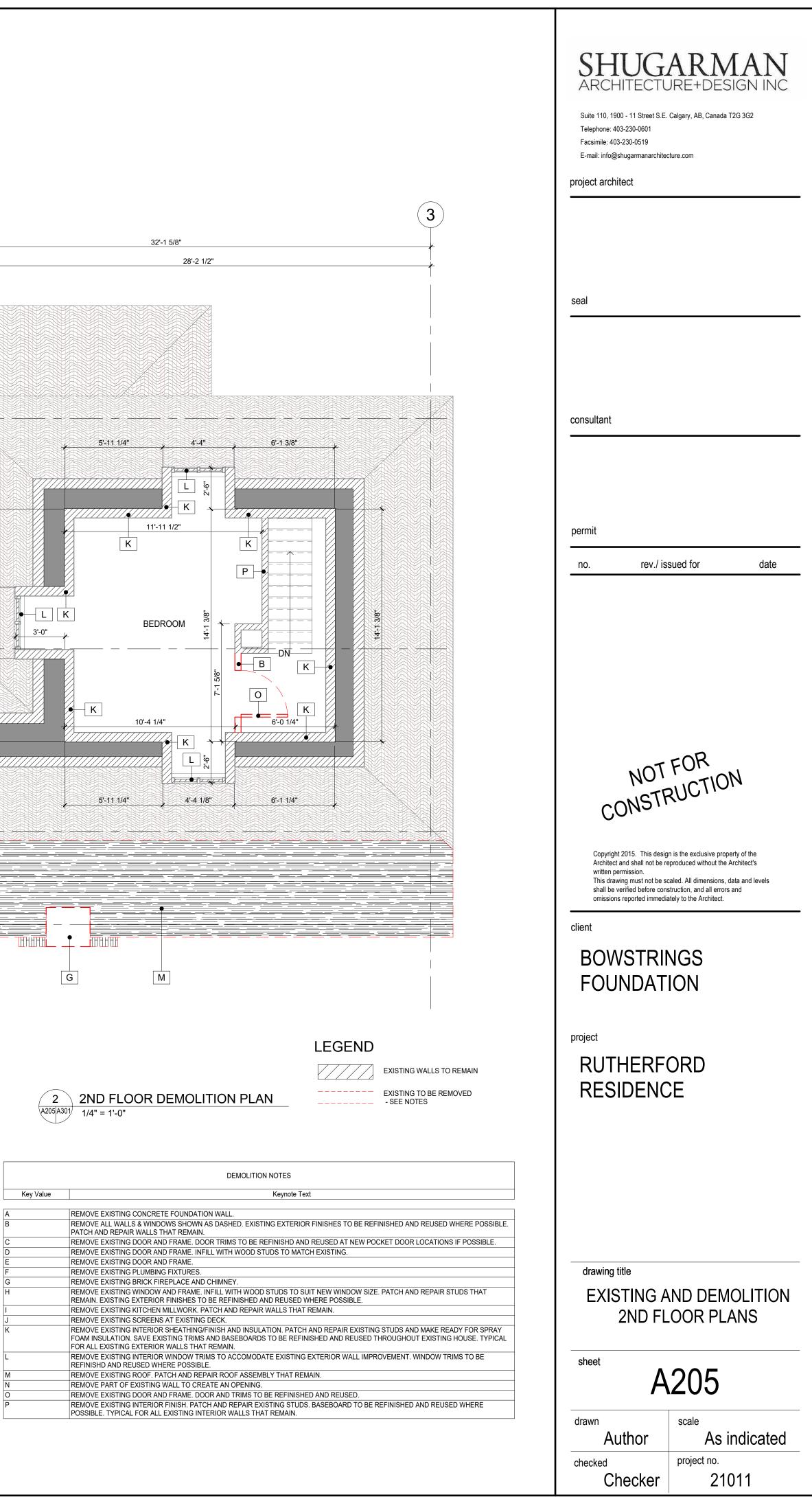
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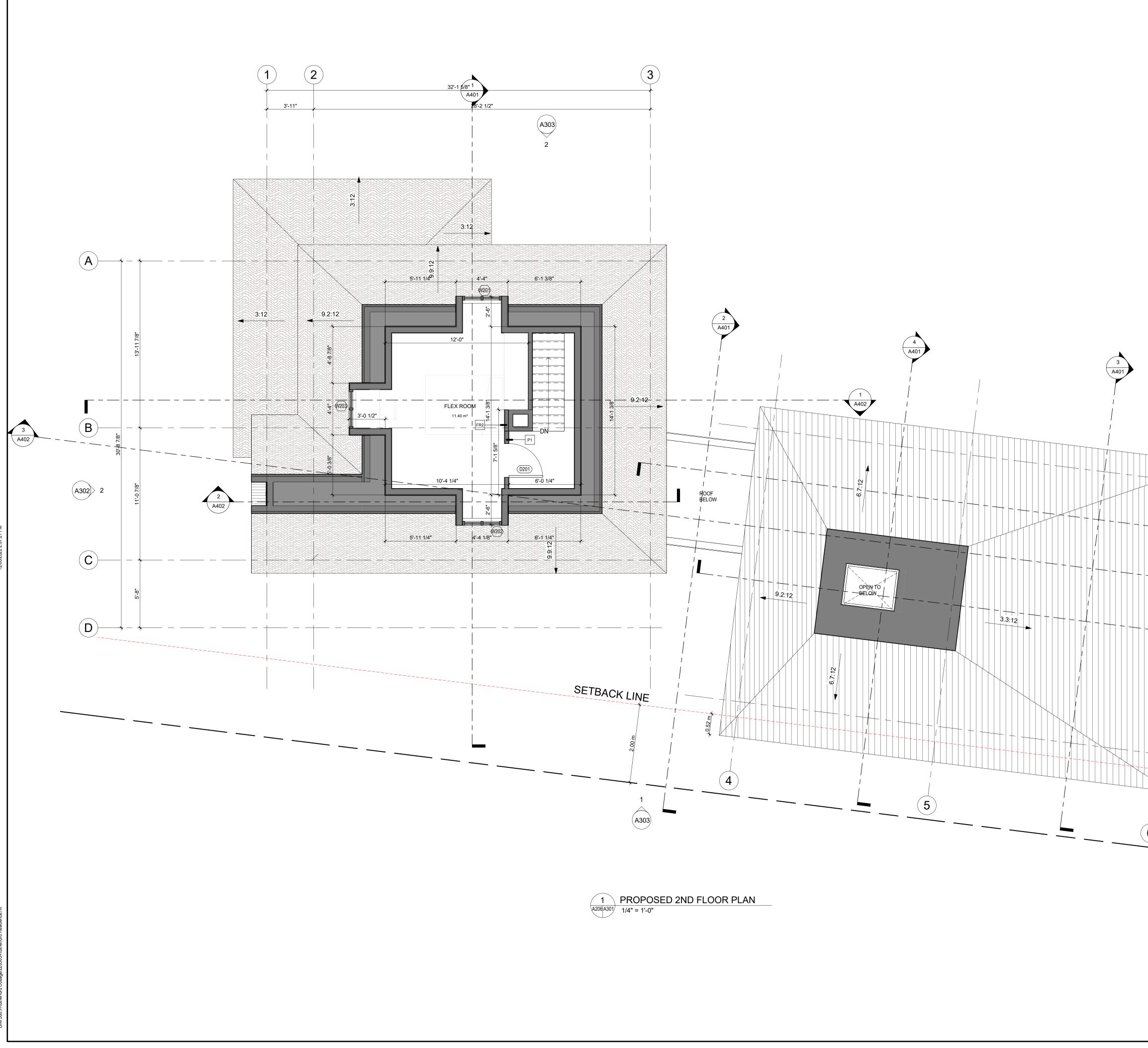


1 EXISTING 2ND FLOOR PLAN A205 A301 1/4" = 1'-0"

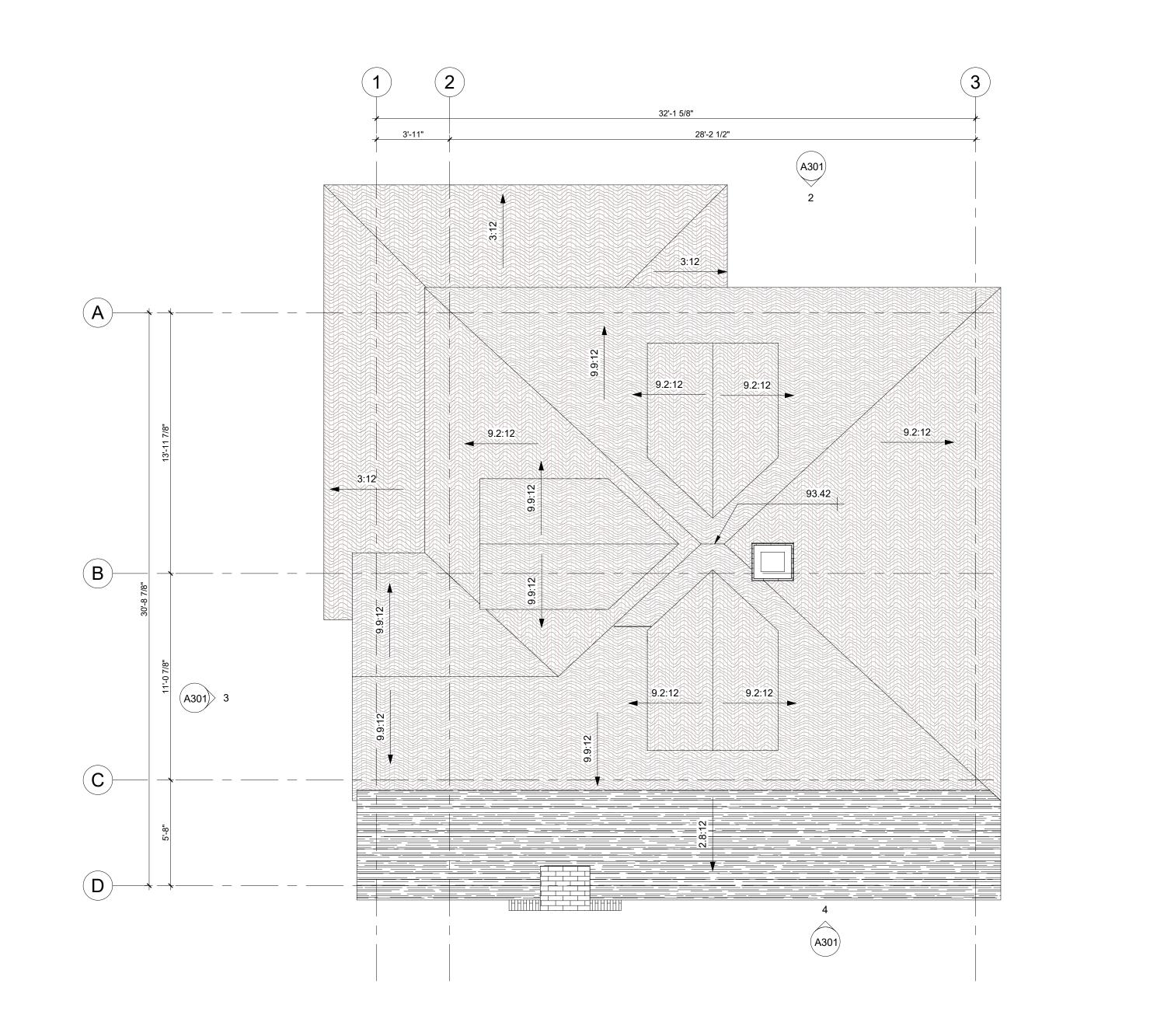




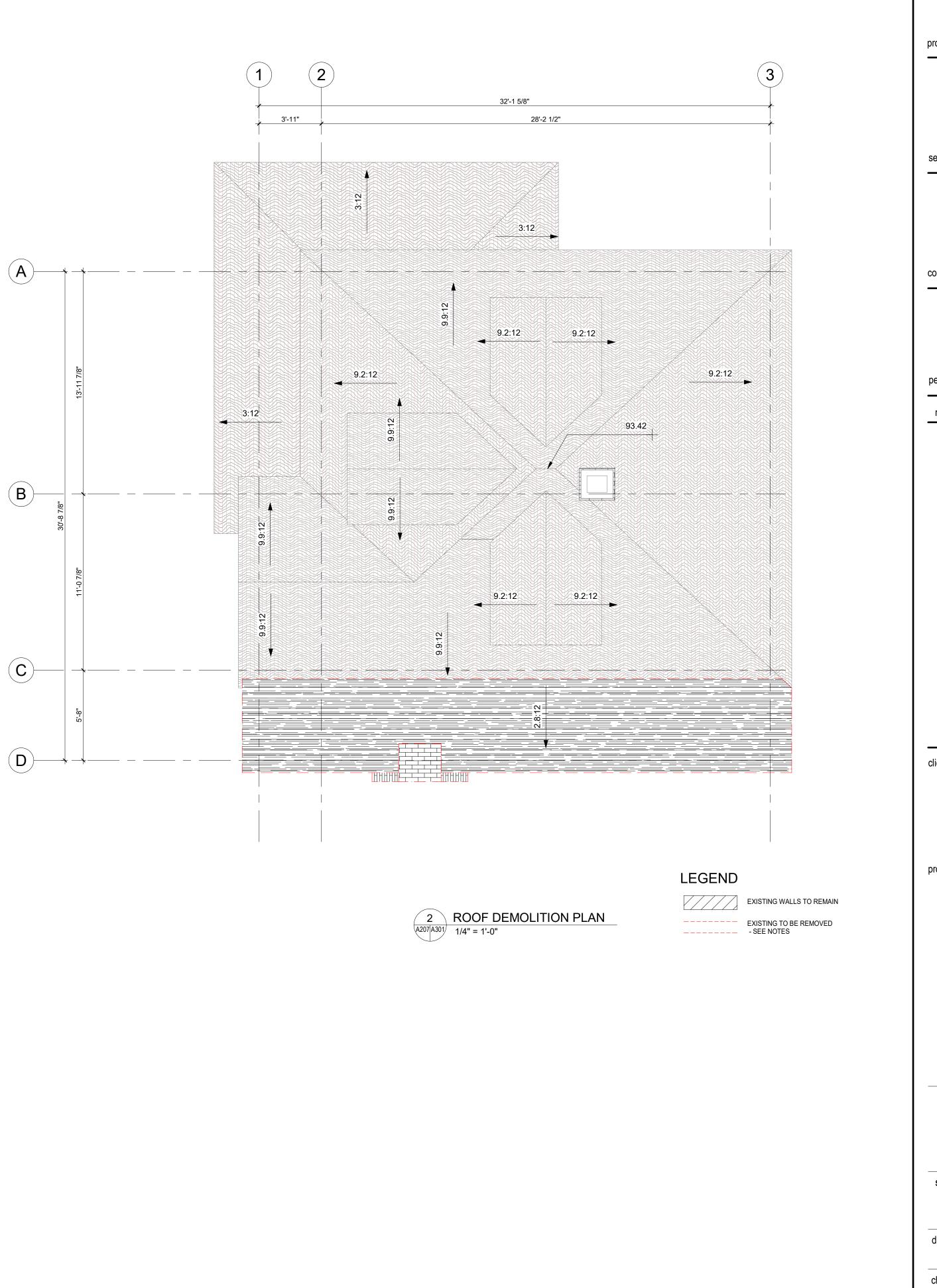




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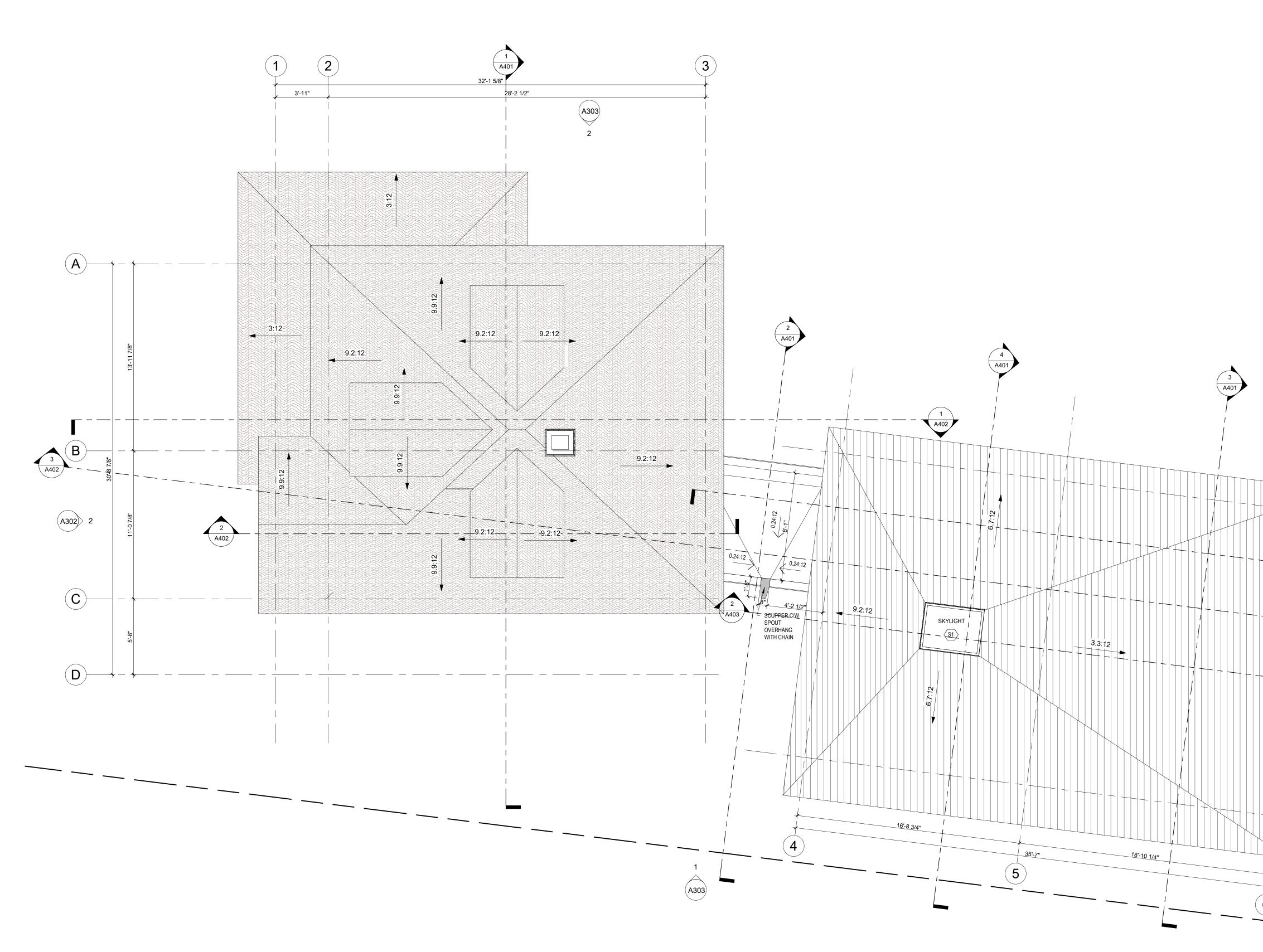
1 EXISTING ROOF PLAN A207 A301 1/4" = 1'-0"



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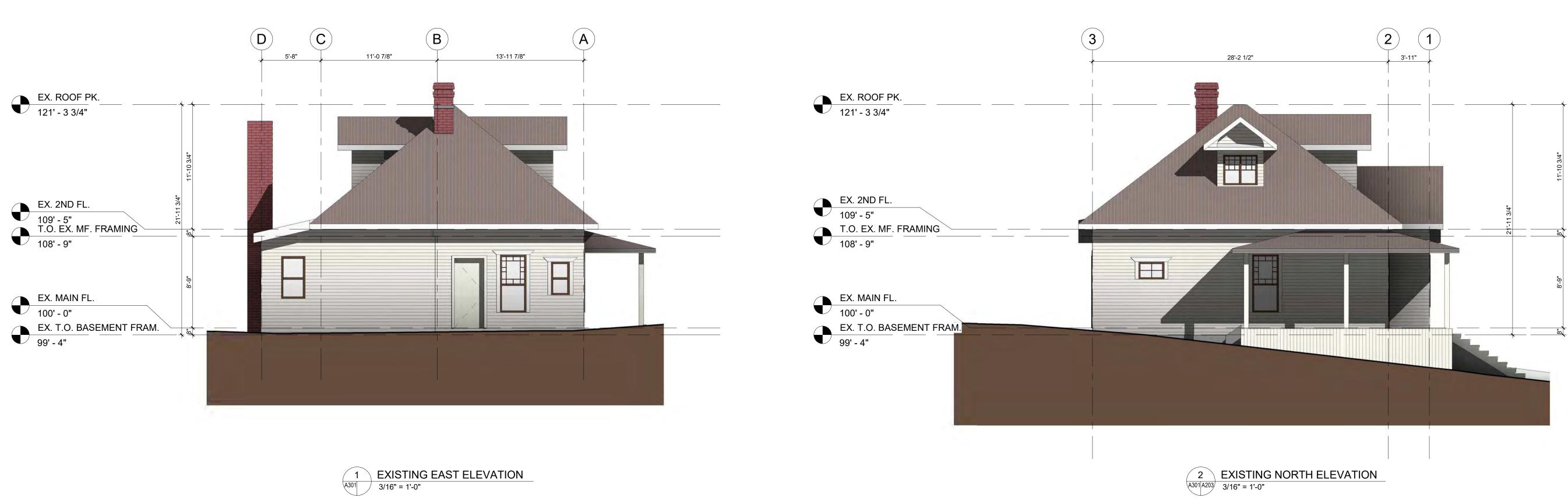
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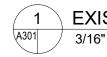


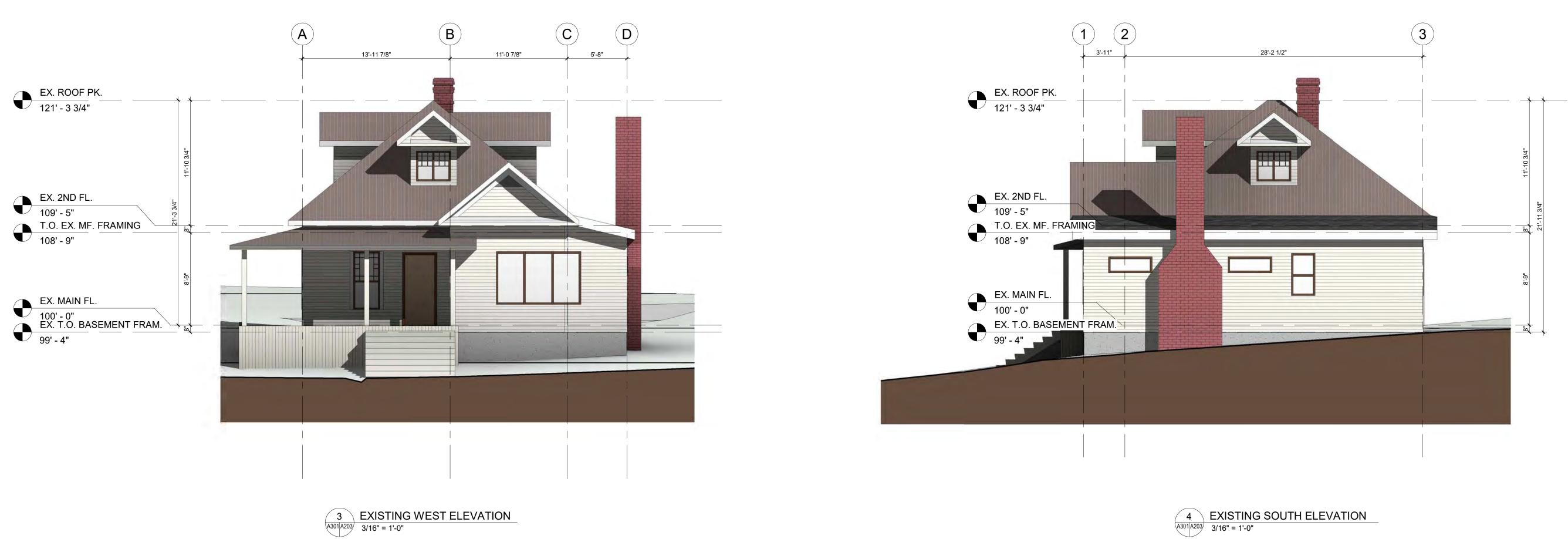
1 PROPOSED ROOF PLAN A208 A301 1/4" = 1'-0"

ADDITION ROOF FORM: THE NEW ROOF FORM WAS DES CONTEMPORARY TAKE ON THE RUTHERFORDS PYRAM MAKE THE RUTHERFORD COTTAGE MORE PRONOUNCE STREET, THE NEW ADDITION SITS LOWER THAN THE EX AND IT IS DESIGNED WITH A ASYMMETRICAL SLOPE SO THE HISTORIC HOUSE SITS VISIBLE FROM THE STREET. ADDITION MIRRORS THE EXISTING HOUSE AT THE NECH 9.2:12 SLOPE TO MIRROR THE HISTORIC FORM.

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E DESIGNED TO BE A RAMIDAL ROOF. TO INCED FROM BUFFALO IE EXISTING HOUSE, E SO THAT MORE OF JEET. LASTLY, THE NEW NECK, WITH THE SAME	drawing title PROPOSED ROOF PLAN sheet A208
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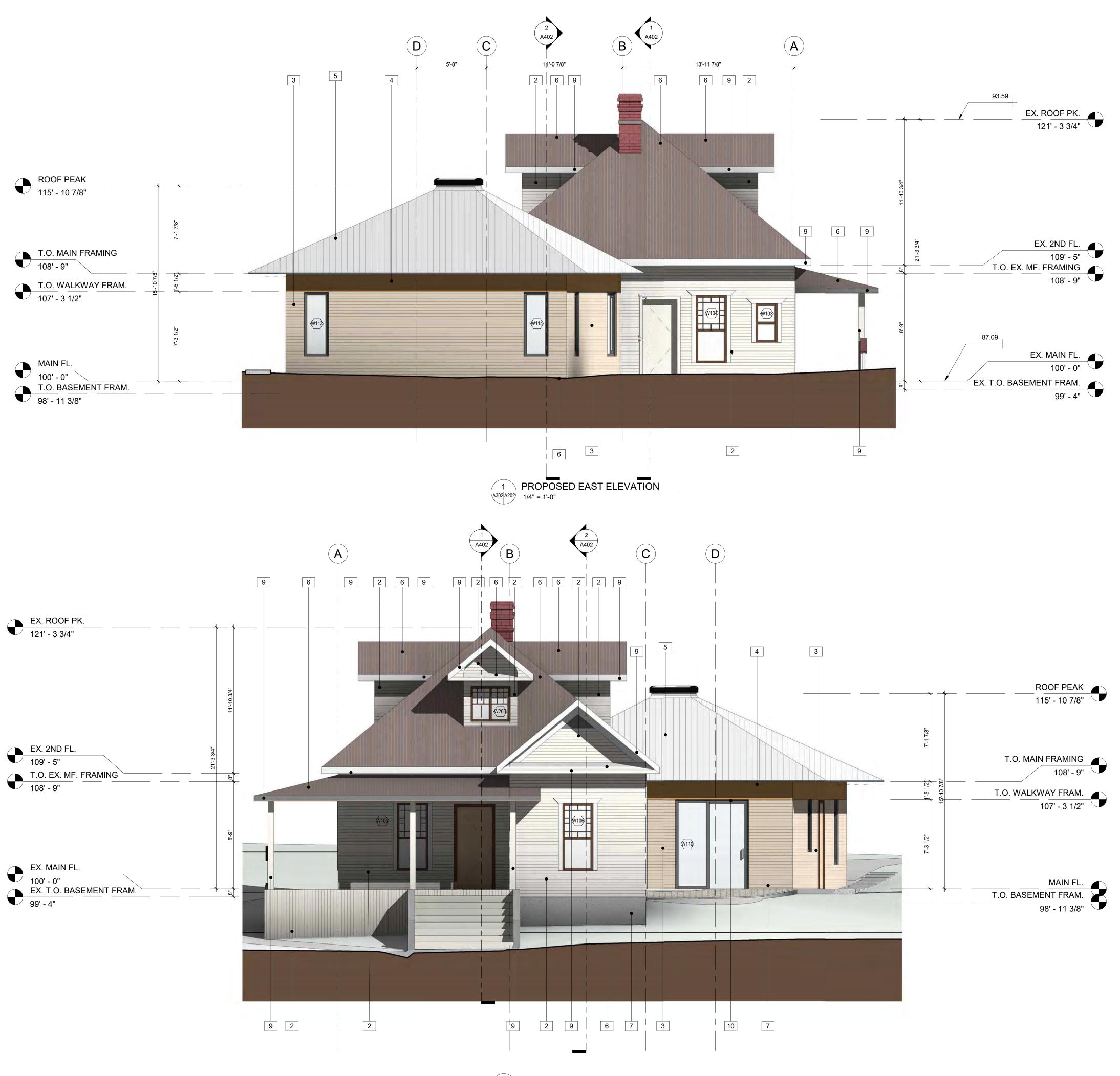


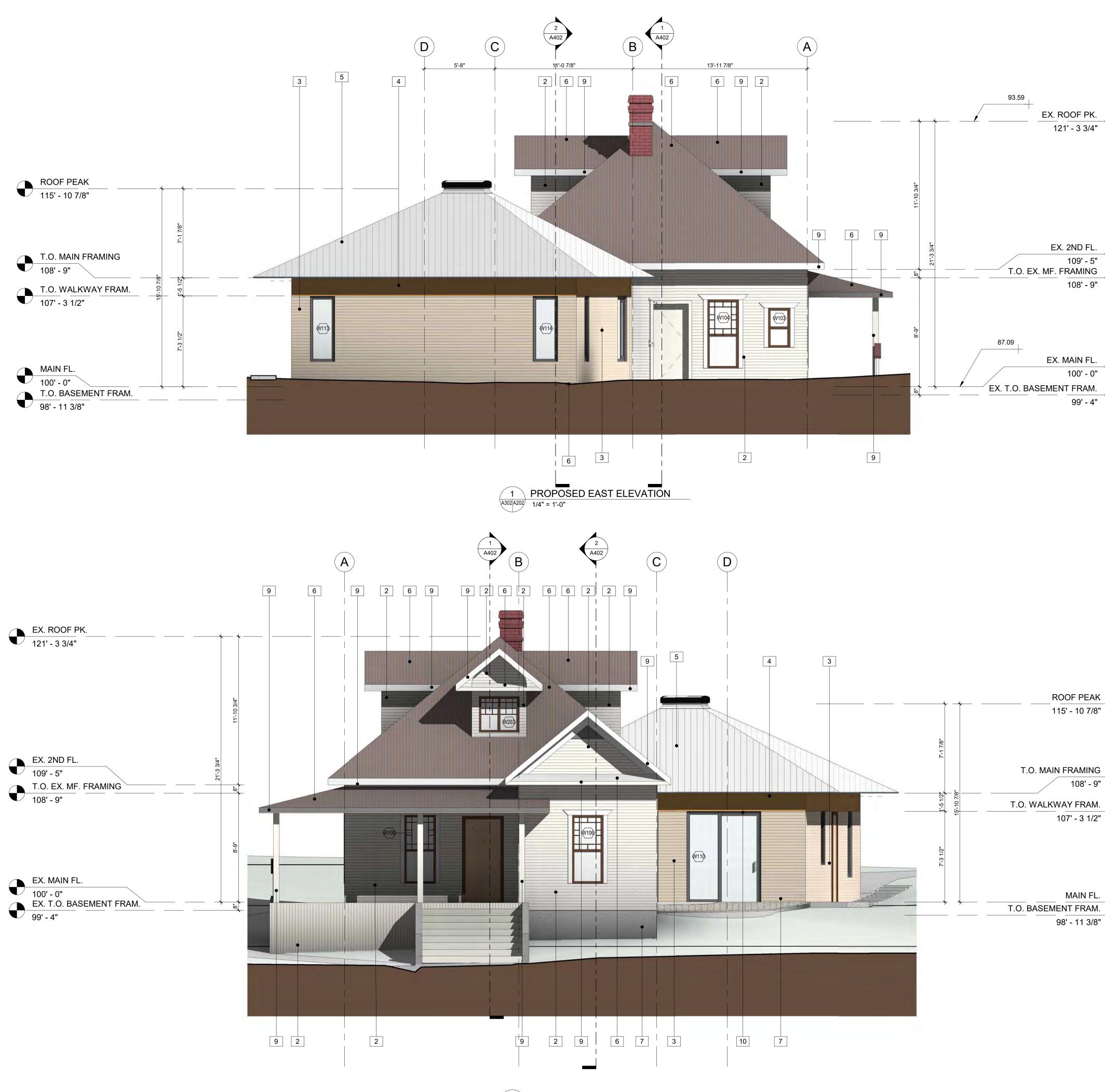






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project architect		
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2 PROPOSED WEST ELEVATION A302 A202 1/4" = 1'-0"

KEY VALUE	KEYNOTE TEXT
2	PAINTED WOOD SIDING HORIZONTAL - WHITE
3	NATURAL/ COMPOSITE STAINED WOOD SIDING HORIZONTAL C/W MITERED CORNER - TREATED IN LIEFETIME WOOD TREATMENT
4	ROUGH CUT PINE BOARD SIDING - TREATED IN LIFETIME WOOD TREATMENT
5	STANDING-SEAM METAL ROOF - GREY
6	COMPOSITE/ WOODEN CEDAR SHAKE ROOF
7	PARGING - COLOUR TO MATCH EXTERIOR CONCRETE
8	PREFIN. METAL FLASHING TO MATCH PINE BOARD SIDING
9	PAINTED WOOD FASCIA BOARD - TO MATCH ORIGINAL COLOUR TBC.
10	WINDOWS - TO MATCH ORIGINAL COLOUR TBC.



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client

BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

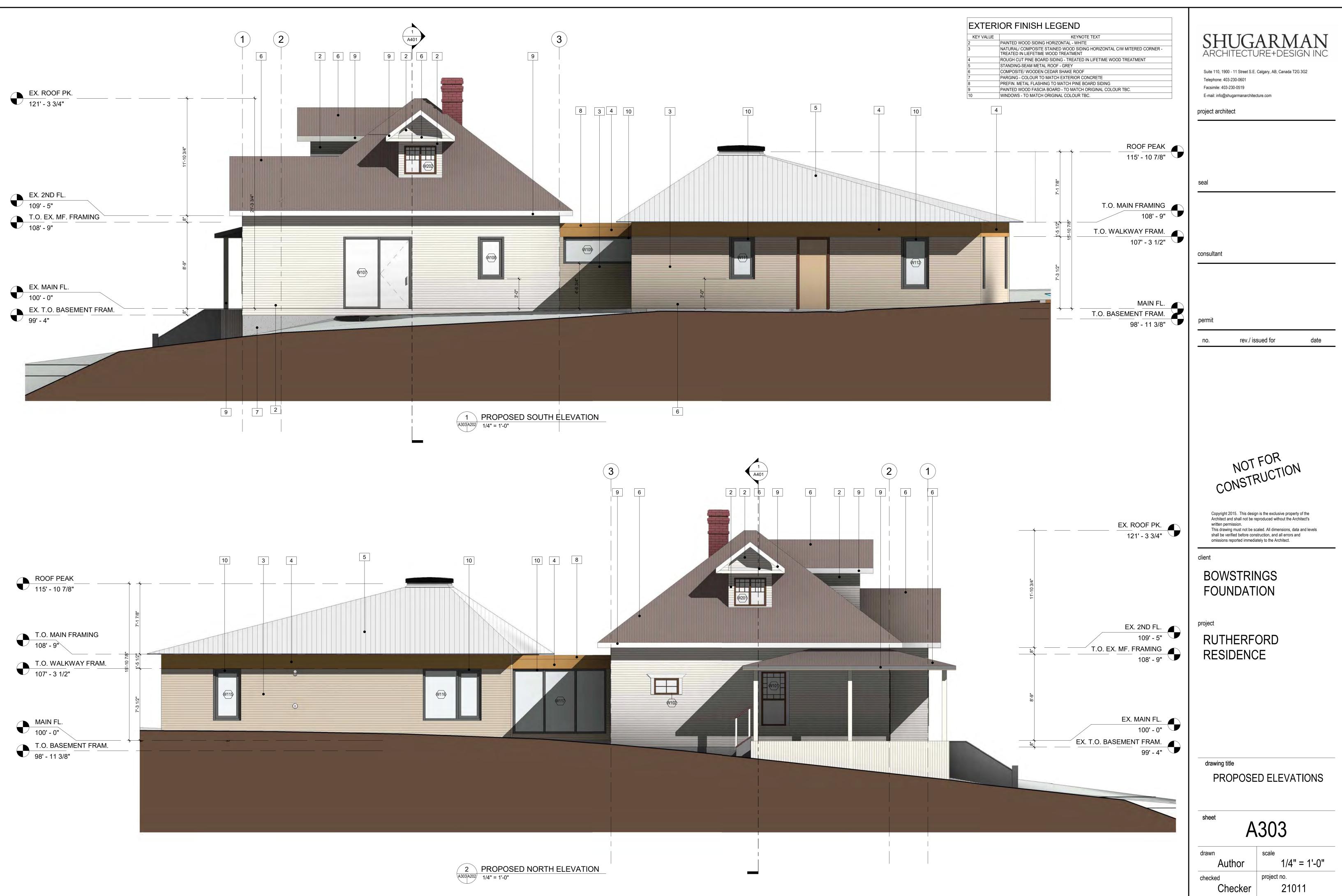
drawing title

PROPOSED ELEVATIONS

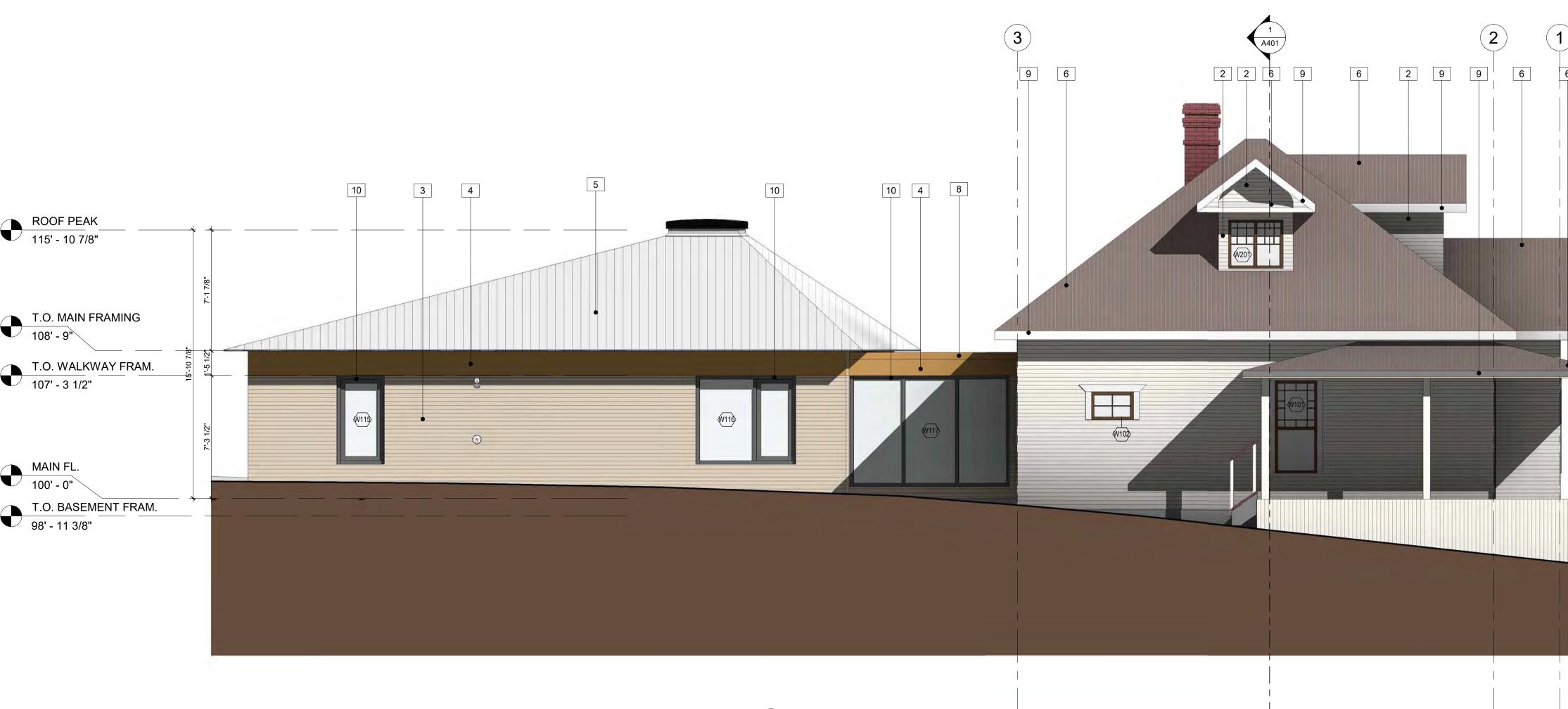
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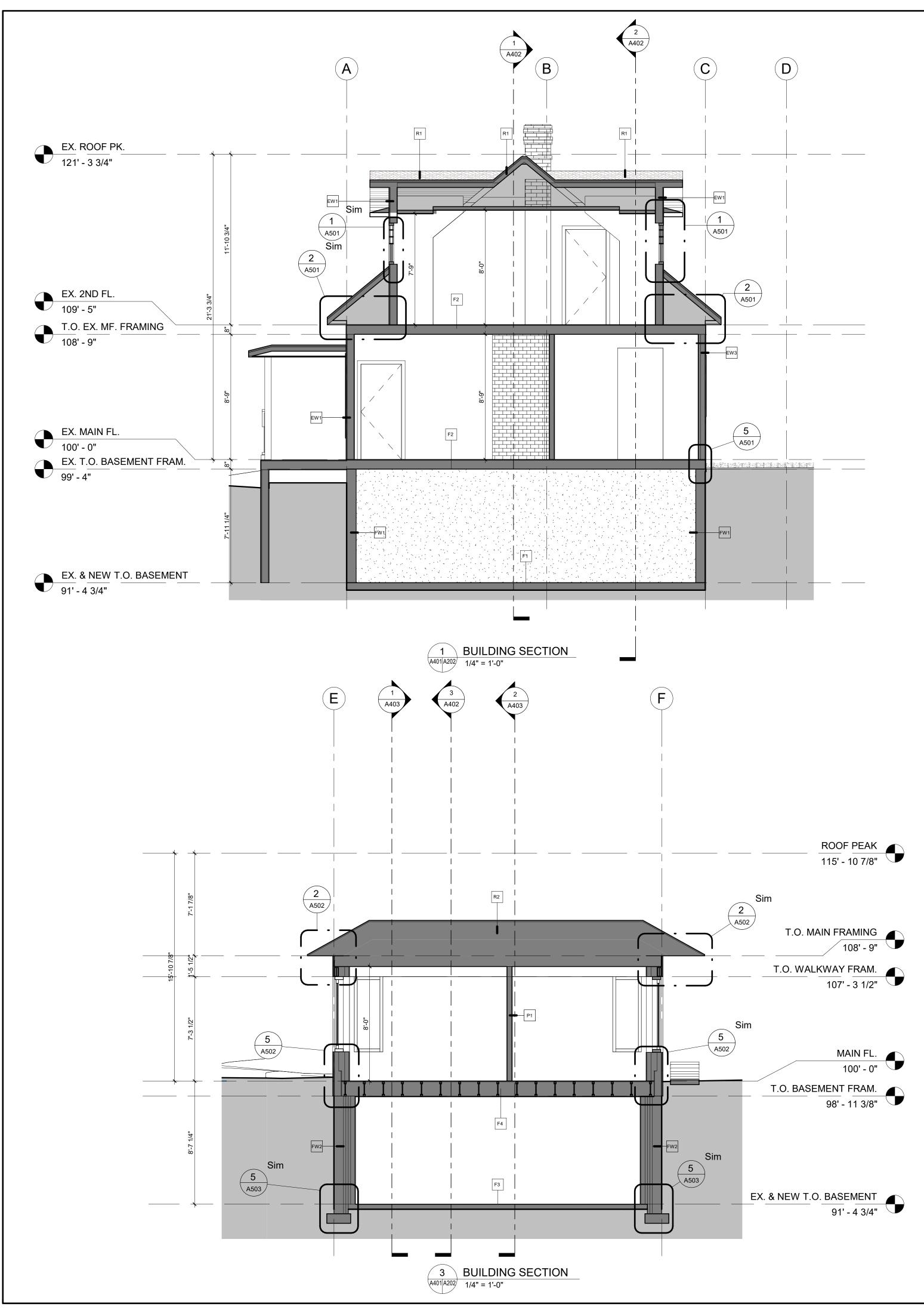
A302

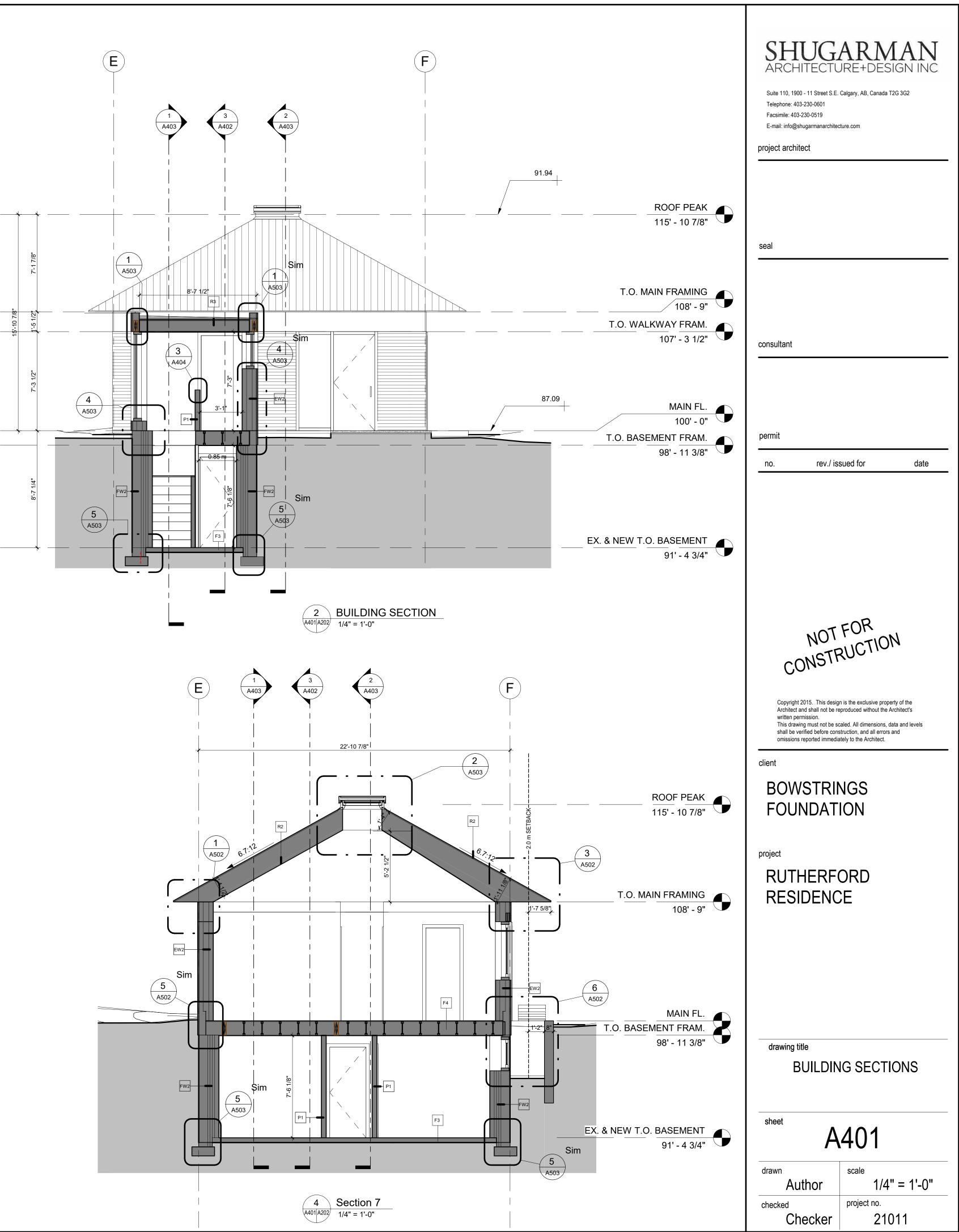
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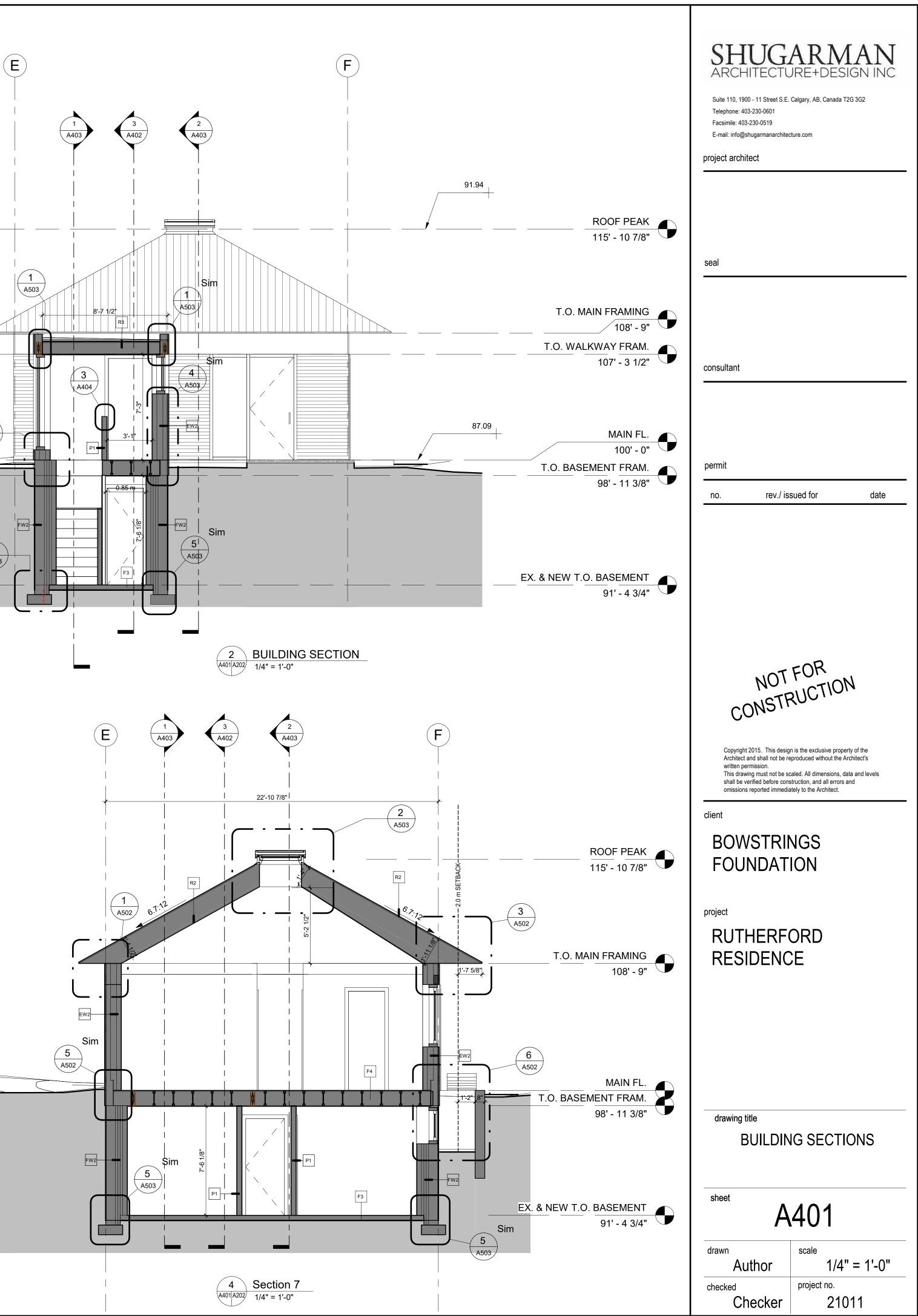


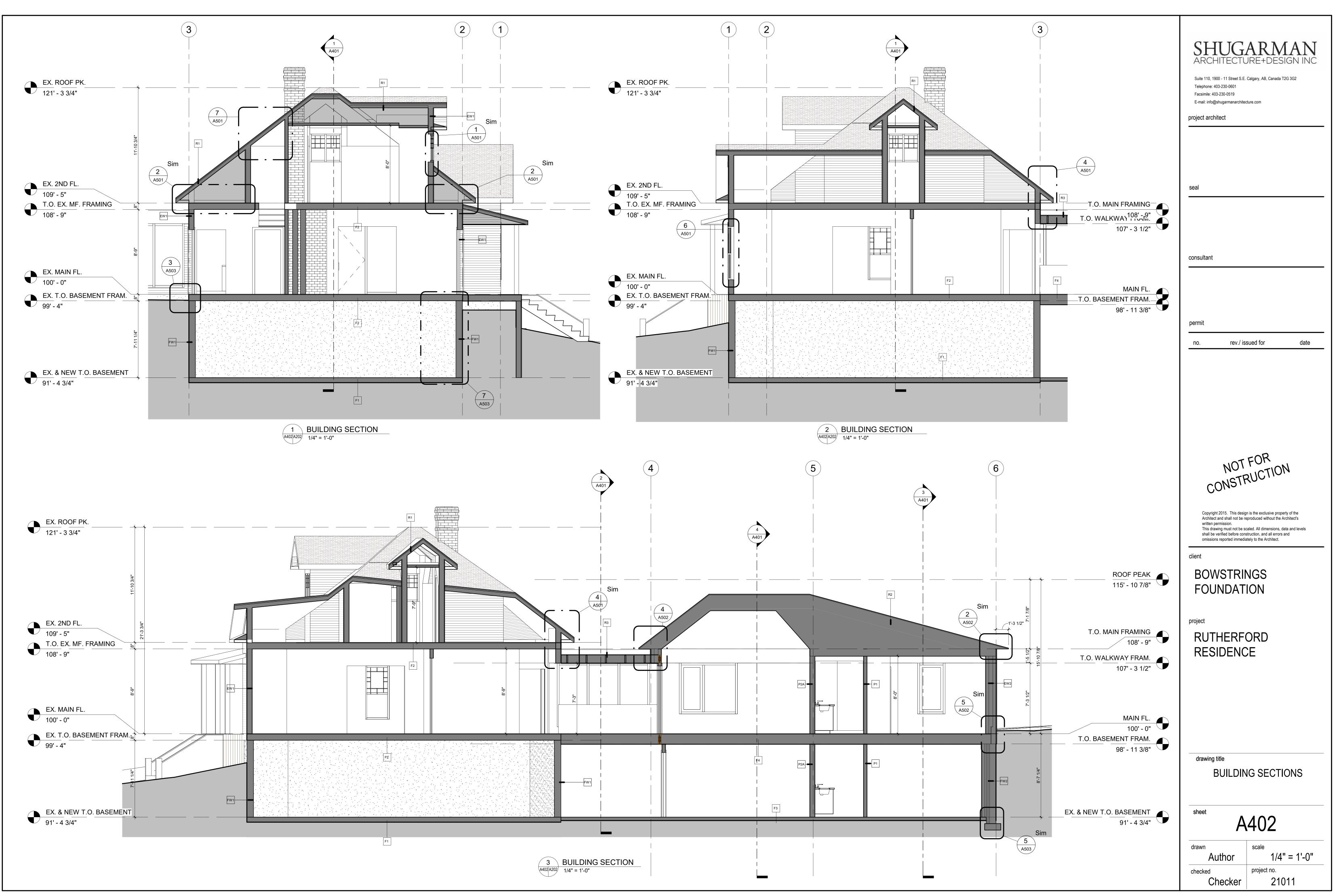


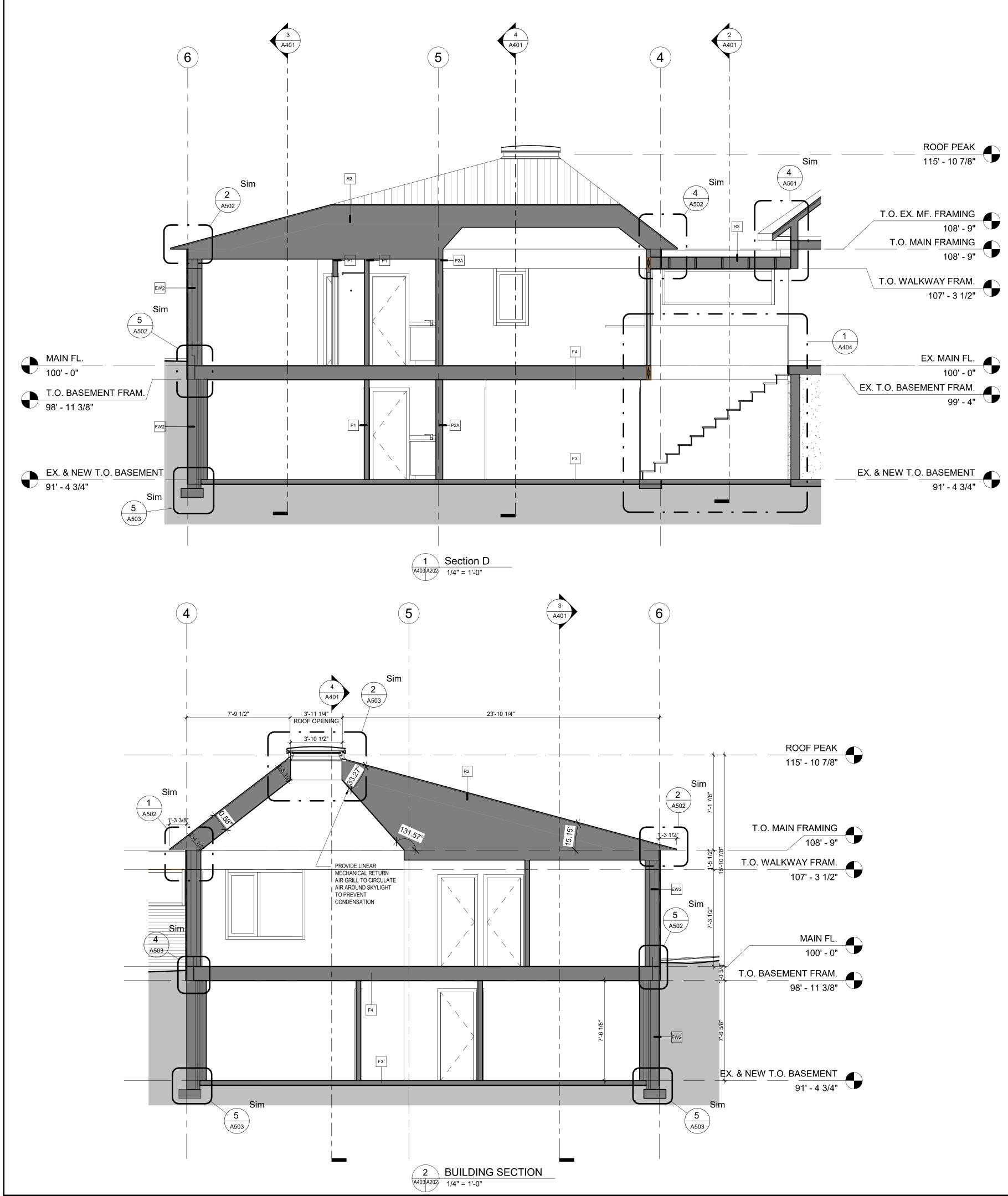








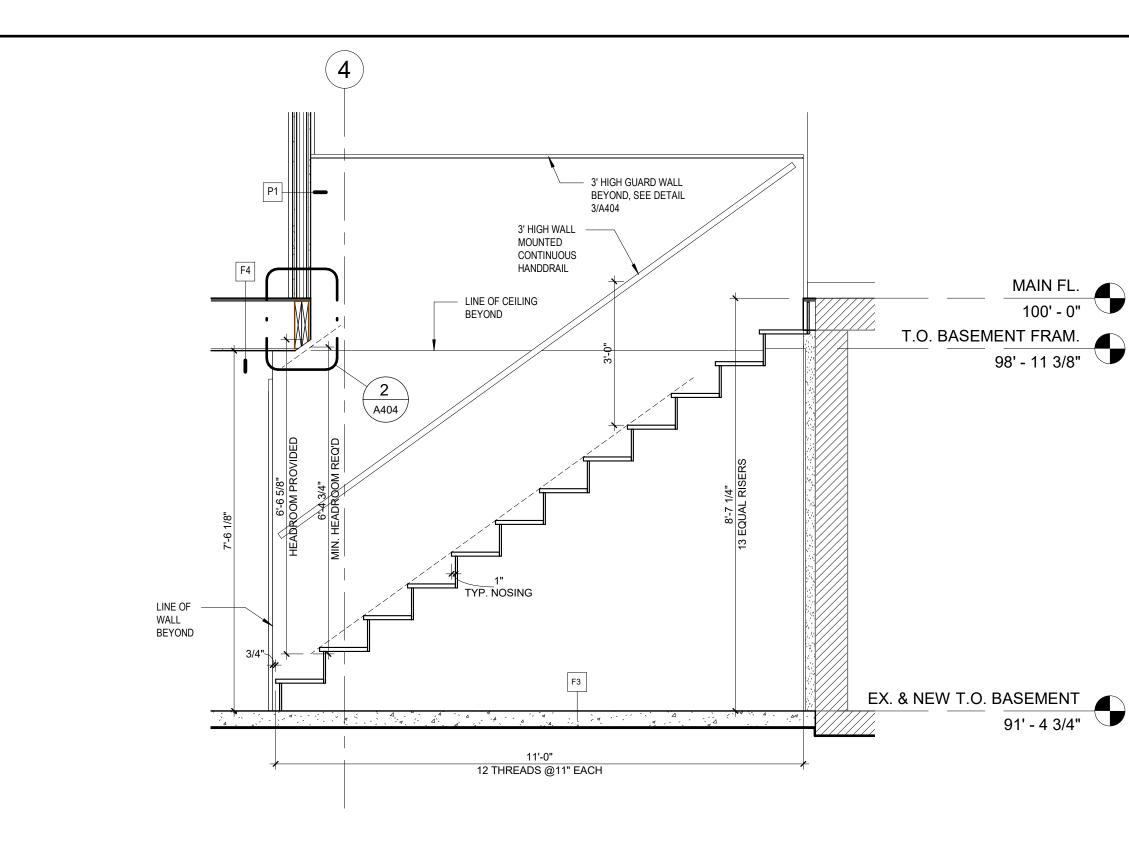




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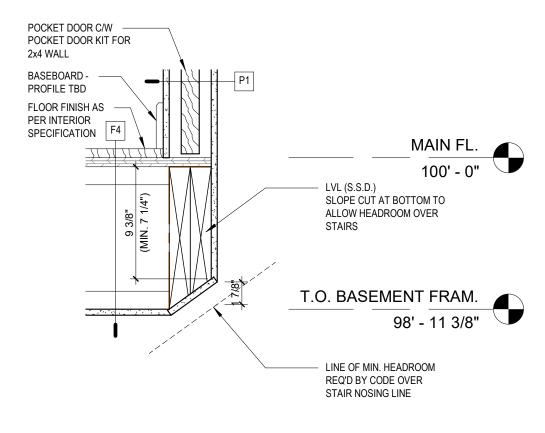
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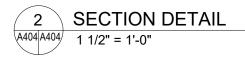
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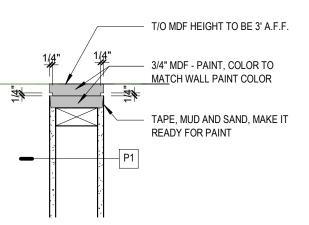


 1
 STAIR SECTION

 A404 A403
 1/2" = 1'-0"

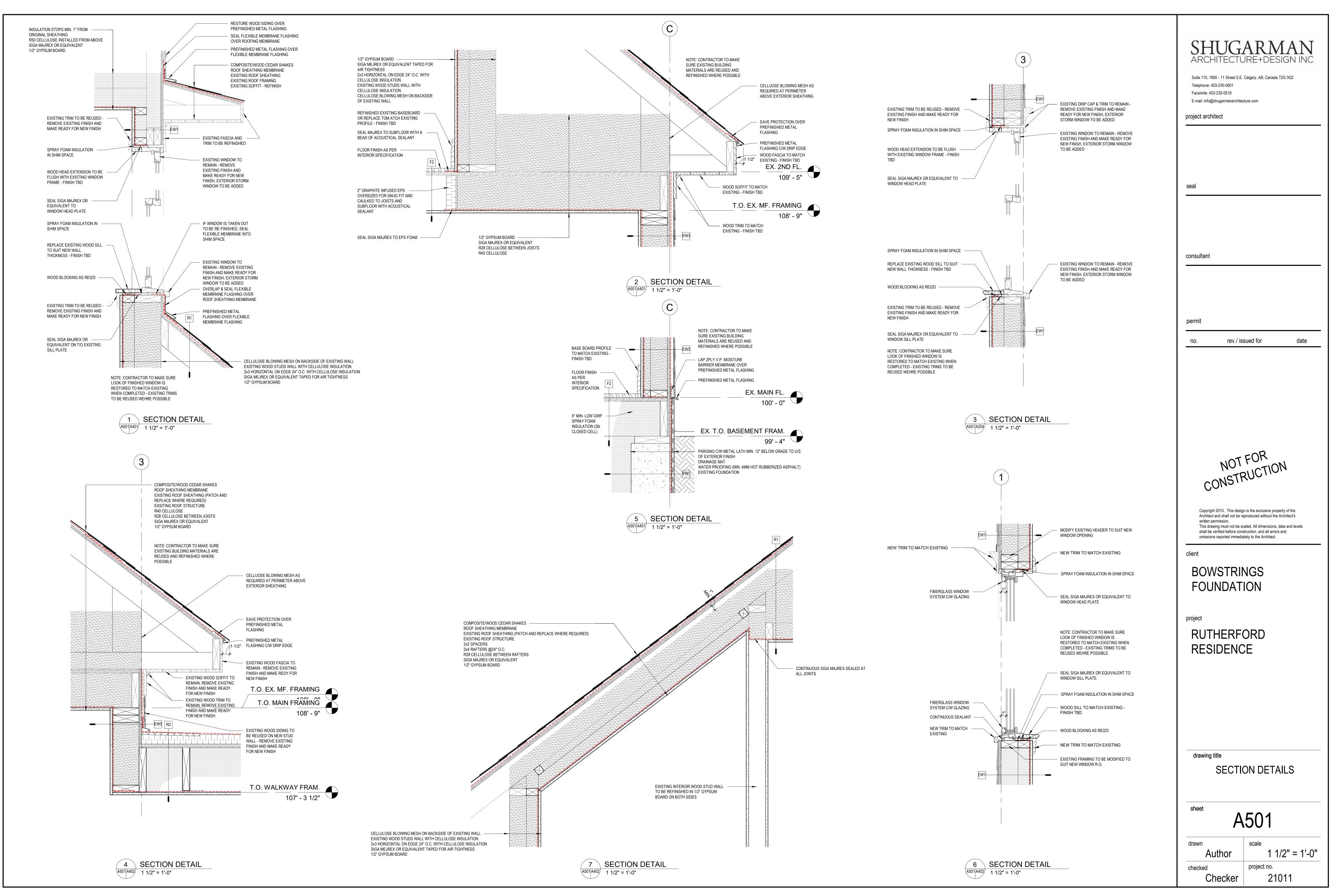


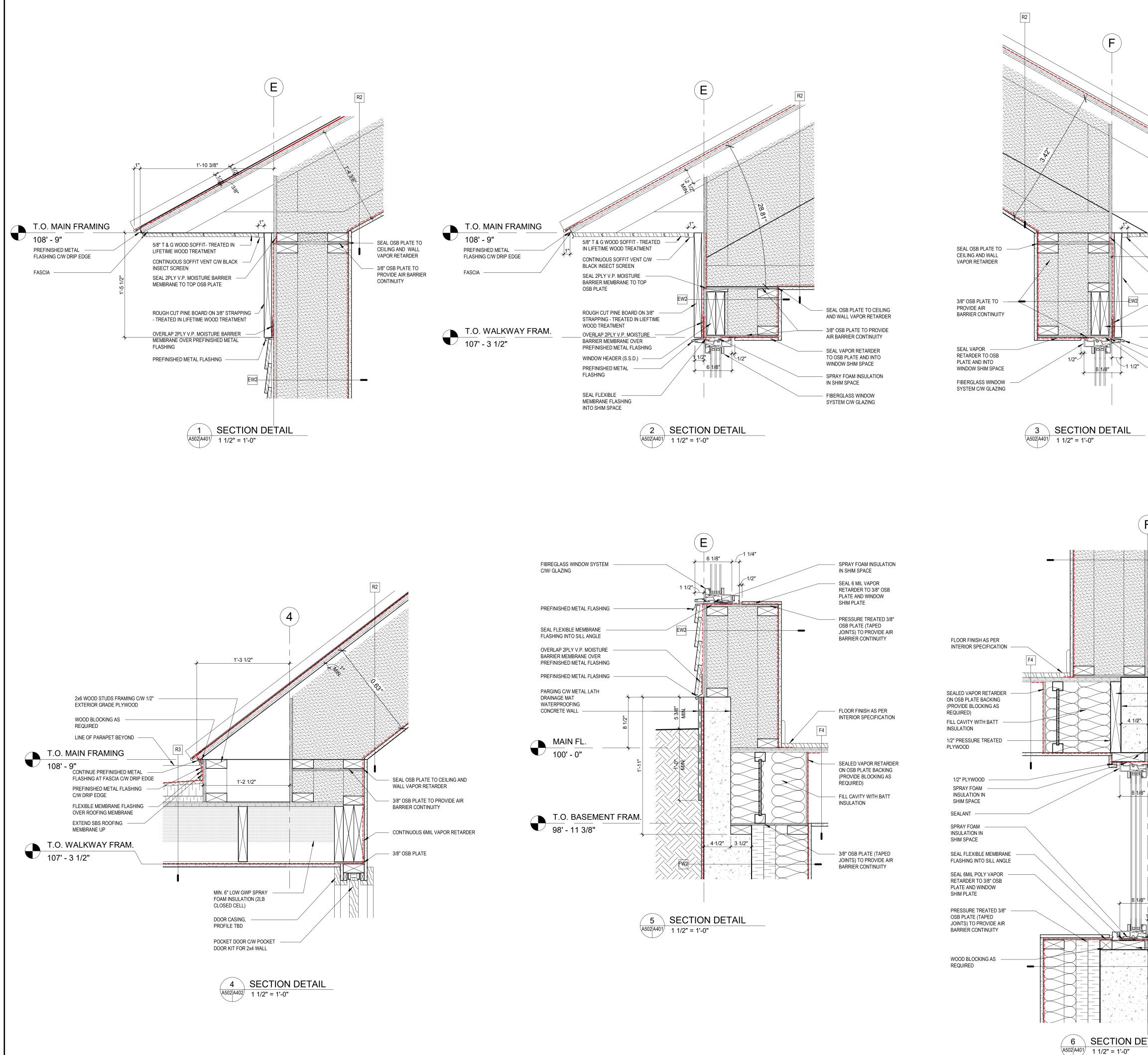




3 SECTION DETAIL A404 A401 1 1/2" = 1'-0"

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Telephone: 403-230-0601 Facsimile: 403-230-0519 E-mail: info@shugarmanarchitecture.com project architect		
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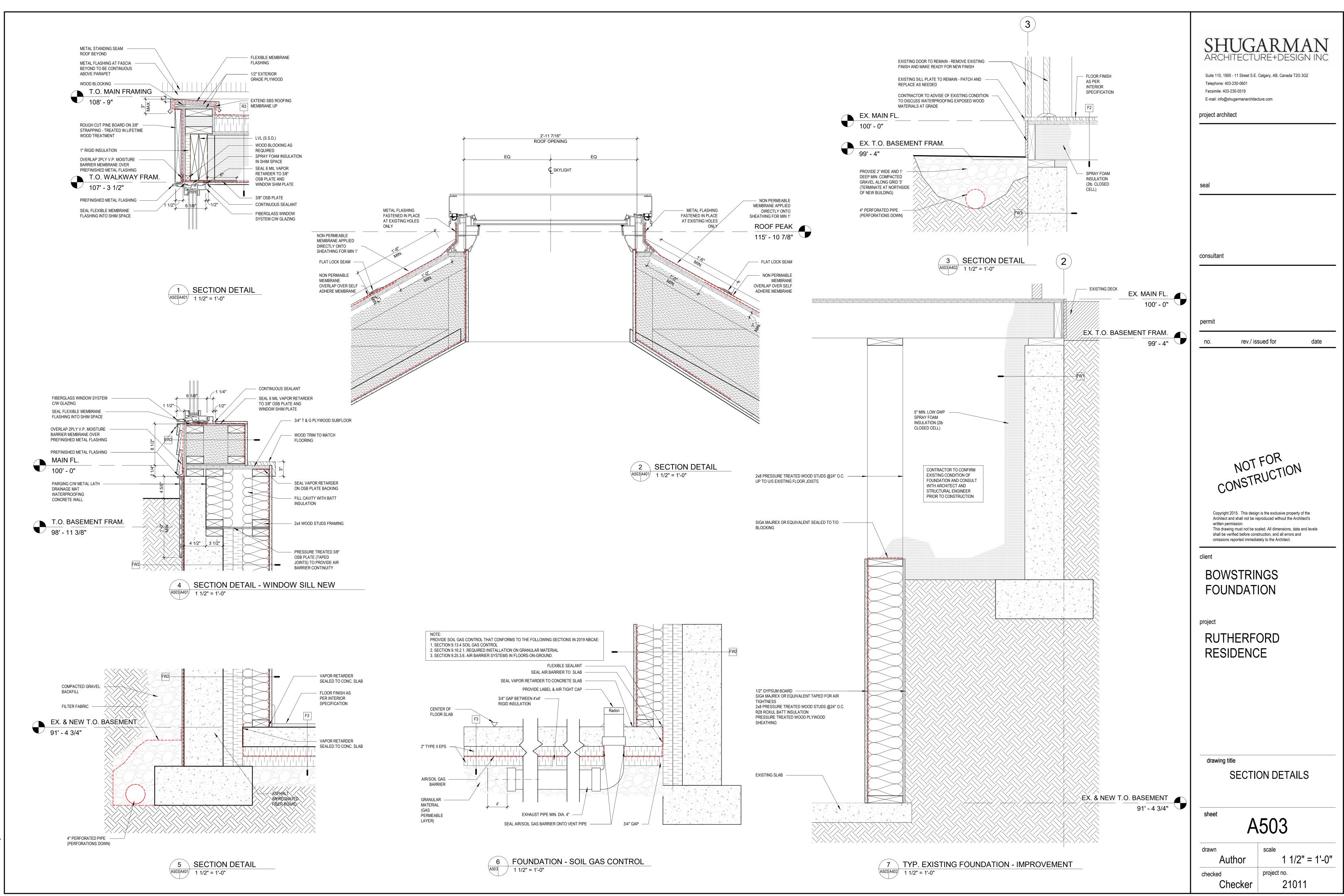


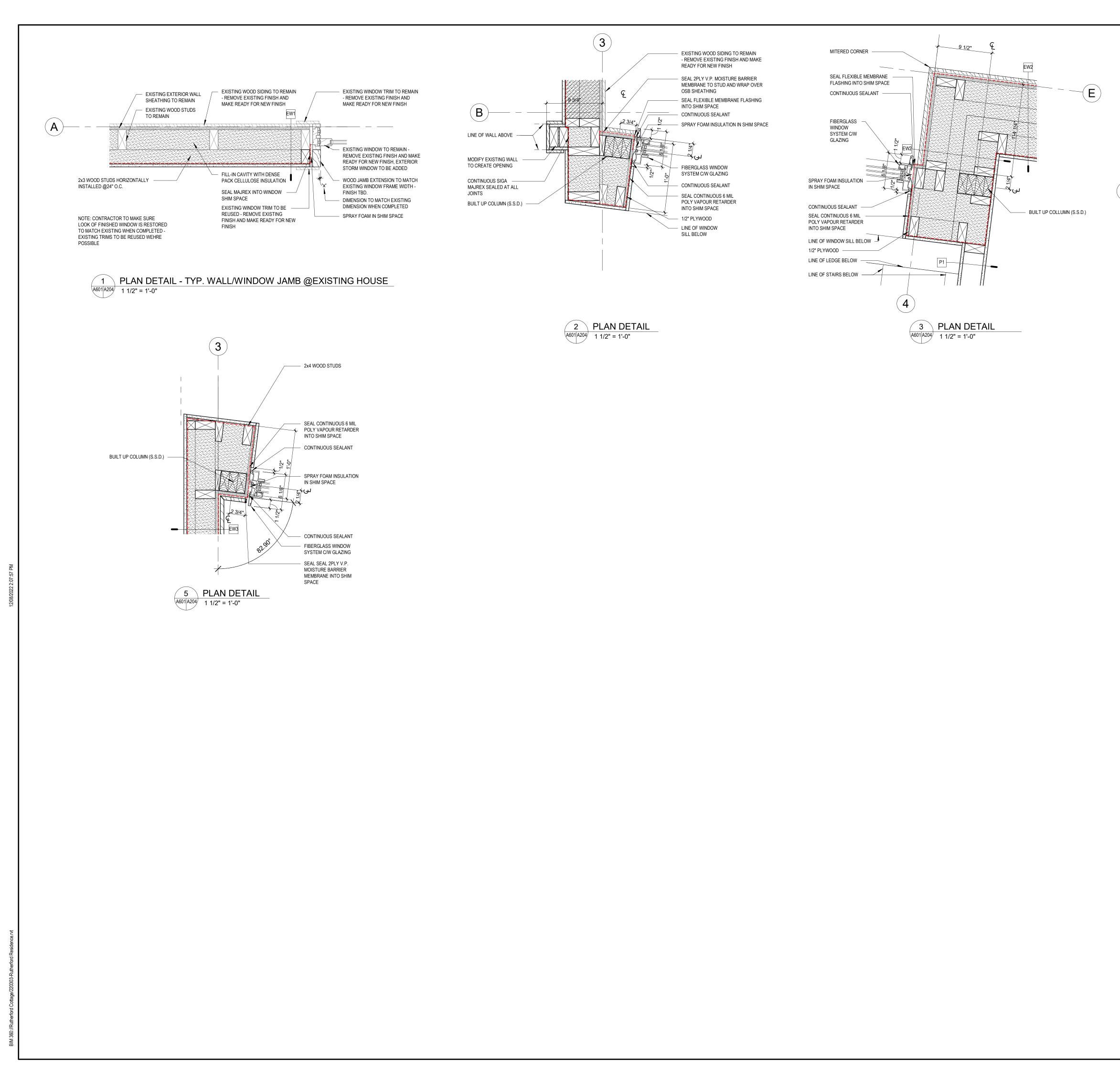


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	SHUG. ARCHITECTU	ARMAN
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	Facsimile: 403-230-0519 E-mail: info@shugarmanarchitec	cture.com
	project architect	
	seal	
T.O. MAIN FRAMING 108' - 9" 5/8" T & G WOOD SOFFIT - TREATED IN LIFETIME WOOD TREATMENT PREFINISHED METAL		
3'-0 1/4" FLASHING C/W DRIP EDGE		
ROUGH CUT PINE BOARD - TREATED IN LIFETIME WOOD TREATMENT OVERLAP 2 PLY V.P. MOISTURE BARRIER MEMBRANE OVER	consultant	
PREFINISHED METAL FLASHING WINDOW HEADER (S.S.D.)		
PREFINISHED METAL FLASHING SEAL FLEXIBLE MEMBRANE FLASHING INTO SHIM SPACE		
SPRAY FOAM INSULATION IN SHIM SPACE		auad for data
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OVERLAP 2PLY V.P. MOISTURE BARRIER MEMBRANE OVER PREFINISHED METAL FLASHING	CONST	
PREFINISHED METAL FLASHING	Architect and shall not be re written permission.	n is the exclusive property of the produced without the Architect's
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MAIN FL. 100' - 0"		
WINDOW HEADER (S.S.D.)	BOWSTRIN FOUNDAT	
PARGING C/W METAL LATH 2PLY V.P. MOISTURE BARRIER MEMBRANE CONCRETE HEADER		
2x6 HEAD LINER T.O. BASEMENT FRAM. 98' - 11 3/8"	project RUTHERF(ORD
	RESIDENC	E
FIBERGLASS WINDOW SYSTEM C/W GLAZING		
NOTE: CONTRACTOR		
FIBERGLASS WINDOW	draugina 1:11-	
PIBERGLASS WINDOW SYSTEM C/W GLAZING PREFINISHED METAL FLASHING C/W DRIP EDGE	drawing title SECTION DETAILS	
2x6 SILL PLATE		
FW2 WINDOW WELL	sheet	502
PROVIDE MIN. 12" DEEP GRAVEL @WINDOW WELL	drawn	scale
	Author checked	1 1/2" = 1'-0" project no.
	Checker	21011





EXISTING WOOD SIDING TO REMAIN - REMOVE EXISTING FINISH AND MAKE READY FOR NEW FINISH EXISTING WOOD STUDS — TO REMAIN	
EXISTING EXTERIOR WALL SHEATHING TO REMAIN	EW1 CONTINUOUS SIGA MAJREX
ORNER BOARD TO MATCH EXISTING	EW3 SEAL 2PLY V.P. MOISTURE BARRIER MEMBRANE
	1
	4 PLAN DETAIL A601 A204 1 1/2" = 1'-0"

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