



project architect

SHUGARMAN
ARCHITECTURE+DESIGN INC

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structural engineer

mechanical engineer

electrical engineer

landscape architect

21011
RUTHERFORD RESIDENCE

NOT FOR CONSTRUCTION

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**BOWSTRINGS
FOUNDATION**

**RUTHERFORD
RESIDENCE**

**CONDITIONS OF
DEVELOPMENT PERMIT
APPROVAL**

A002

BC

Checker

21011

CONDITIONS OF DEVELOPMENT PERMIT APPROVAL

CONDITION	RESPONSE
(a) Pay to the Town of Banff the fees as established in Schedule G of the Land Use Bylaw: i. Additions and Renovations application fee of \$350 + \$148.50 (\$1.10/m ² for 135 m ² of additional area) for a total of \$498.50	To be completed prior to Building Permit Approval
(b) Pay Off-Site Levies in the amount of \$3,130.65 (\$23.19/ m ²) in accordance with the Banff Off-Site Levies Bylaw	To be completed prior to Building Permit Approval
(c) Provide revised drawings, at a metric scale, for the review and approval of the Development Officer that are in conformance with the Land Use Bylaw and Banff Design Guidelines and include: <ul style="list-style-type: none"> i. Changes to the overall roof form of the proposed addition; ii. Changes to the roof materials of the proposed addition; iii. Confirmation that every off-street parking stall, and access thereto is hardsurfaced in accordance with section 8.13.1. Please note, 'self binding gravel' does not meet the definitions of Hardsurfacing; iv. An off-site improvement plan including a driveway width in accordance with section 8.16.27; v. Cross section of the addition from east property line through to the other side of the building, parallel to cross-sections 1 and 4, labelled with dimensions so that details of window well and eave projections can be clearly identified, in order to confirm compliance with setback and projection requirements of the Land Use Bylaw; vi. Parking stall dimensions to confirm compliance with section 8.16 of the Land Use Bylaw; and vii. Revised Floor Area Ratio calculation including the existing building, the addition's main floor, and the area of the addition's basement that should be included as gross floor area. 	Drawings revised as noted
(d) Provide a materials sample board, for review and approval of the Development Officer for proposed exterior finishes	Digital material board included on drawing A002 - CONDITIONS OF DEVELOPMENT PERMIT APPROVAL Physical sample of metal roofing couriered to Town of Banff
(e) Enter into Restrictive Covenant(s) and/or Agreements with the Town of Banff to be registered against the Certificate of Title for the property for the purposes of: <ul style="list-style-type: none"> i. Limiting the use of the property to Single Detached Housing with no more than six (6) bedrooms; ii. Identifying that Off-Site Levies have been collected immediately with respect to the development of 135 m² and Off-Site Levies in respect to the remaining undeveloped Gross Floor Area are deferred and shall be payable at the time of future development based on the bylaw in effect at the time; and; iii. A Development Agreement. The terms and wording of the agreement(s) shall be to the satisfaction of the Development Officer. Pay the Town of Banff the Legal Agreement Surcharge of \$600 as established by Town of Banff Development Fee Schedule 'G'	To be completed prior to Building Permit Approval
(f) Submit, for review and approval by the Director of Engineering, a detailed Storm-water Management Plan to City of Calgary and Alberta Environment and Parks standard showing drainage details for the property, relating to neighboring properties and public right of ways;	Note added to drawing A103 - DEVELOPMENT WILL NOT TIE INTO THE TOWN OF BANFF STORMWATER SYSTEM. STORMWATER TO DRAIN ALONG SOFT LANDSCAPING TO RIVER
(g) Submit a Construction Site Plan and provide description of soil and erosion control mitigations that will be used during construction for review and approval by the Development Officer	Soil and erosion control mitigations information included on drawing A104 - SEDIMENT AND EROSION CONTROL PLAN
(h) Submit a proposed Construction Waste Management Plan that includes details of Construction Waste Storage Containers and stream separation in accordance with the Residential/Non-Residential Waste Bylaw, to the satisfaction of the Development Officer	Construction Waste Storage Containers and stream separation information included on drawing A105 - CONSTRUCTION HOARDING & WASTE COLLECTION PLAN
(i) Submit a Waste Management Plan form for review and approval by the Development Officer, which can be found here - https://banff.ca/FormCenter/Operations-7/Zero-CRD-Waste-Plan-155 . Be advised that all projects that require a building permit in Banff must adhere to strict zero waste requirements, following deconstruction or green demolition principles. More information about the Zero Waste Requirements can be found here - https://banff.ca/1173Zero-Waste-Requirements-for-Building-Per .	Online application completed.
(m) Submit a Site De-Watering Plan for review and approval of the Director of Engineering and Parks Canada Environmental Assessment Office	Geotechnical testing did not detect any water - Site De-Watering Plan not required
(n) Submit a Construction Hoarding Plan for the site including proposed height, colour, location of access points and any off-site encroachments associated with the required construction hoarding, in accordance with the Town of Banff Policy C3000, for review and approval by the Development Officer. For further information see www.banff.ca/DocumentCenter/View/5911 . All existing trees to be retained shall be protected by fencing set at the outer canopy (drip line) of the tree during demolition, excavation and construction	Construction Waste Storage Containers and stream separation information included on drawing A105 - CONSTRUCTION HOARDING & WASTE COLLECTION PLAN
(o) Submit a proposed Truck Route and Traffic Plan for construction vehicles. Show locations of all on-site storage (e.g. material, equipment, etc.) during construction	Truck Route/Traffic Plan included on drawing A102 - PROPOSED SITE PLAN
(p) Submit a detailed cost estimate, as determined by the Landscape Architect, for all on and off-site landscaping specifying all plant materials, their size, numbers, location and species. Provide an irrevocable letter of credit in the amount of 125% of the cost of landscaping to secure completion of this work	Submitted to Town of Banff Development Officer
(q) Submit a detailed cost estimate, as determined by the contractor or Landscape Architect, for all on-site hard-surfaced areas (driveway, parking area, walkways, patios) and repair of off-site surfaces (roadway, sidewalk, curb/gutter, driveway crossing) specifying type of materials and finishes. Provide an irrevocable letter of credit in the amount of 125% of the cost of finishing and repairing all hard surfaced areas to secure completion of this work	Submitted to Town of Banff Development Officer
(r) Submit a completed Subcontractor Information Sheet to Town of Banff Business Licensing, Corporate Services Department, providing a list of the sub-contractors to be employed in the construction of the development	To be completed prior to approval of Building Permit
(s) Provide written confirmation, to the satisfaction of the Development Officer, that the following requirements are completed/provided to Parks Canada: <ul style="list-style-type: none"> i. Completion of assessment and determination under the Impact Assessment Act, Section 62. Prior to completing the determination of impacts the following is required: <ul style="list-style-type: none"> 1. A project notice must be posted for 30-days on the Impact Assessment Registry of Canada website for public comment 2. Pre-demolition survey for bats, completed by a Qualified Environmental Professional. 3. Completion of the Town of Banff Model Class Screening Report Form for buildings. 4. Geotechnical investigation to confirm soil quality and any dewatering requirements. Please contact Parks Canada at least one-week prior to the geotechnical investigation to obtain the appropriate mitigations. 5. Pre-impact archaeological assessment consisting of hand shovel excavation by a consulting archaeologist. The pre-impact archaeological assessment shall be completed prior to any geotechnical investigation to avoid impacts to undiscovered artifacts. 	To be completed prior to approval of Building Permit

22DP19 - RUTHERFORD RESIDENCE - DIGITAL MATERIAL BOARD



ROUGH CUT PINE BOARD SIDING - TREATED IN LIFETIME WOOD TREATMENT



NATURAL/COMPOSITE STAINED WOOD SIDING - TREATED IN LIFETIME WOOD TREATMENT



PARKING - COLOUR TO MATCH EXTERIOR CONCRETE



STANDING SEAM METAL ROOF - PROPOSED COLOUR



STANDING SEAM METAL ROOF - ALTERNATE COLOUR



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client

BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

drawing title

WINDOW AND DOOR SCHEDULES

sheet

A003

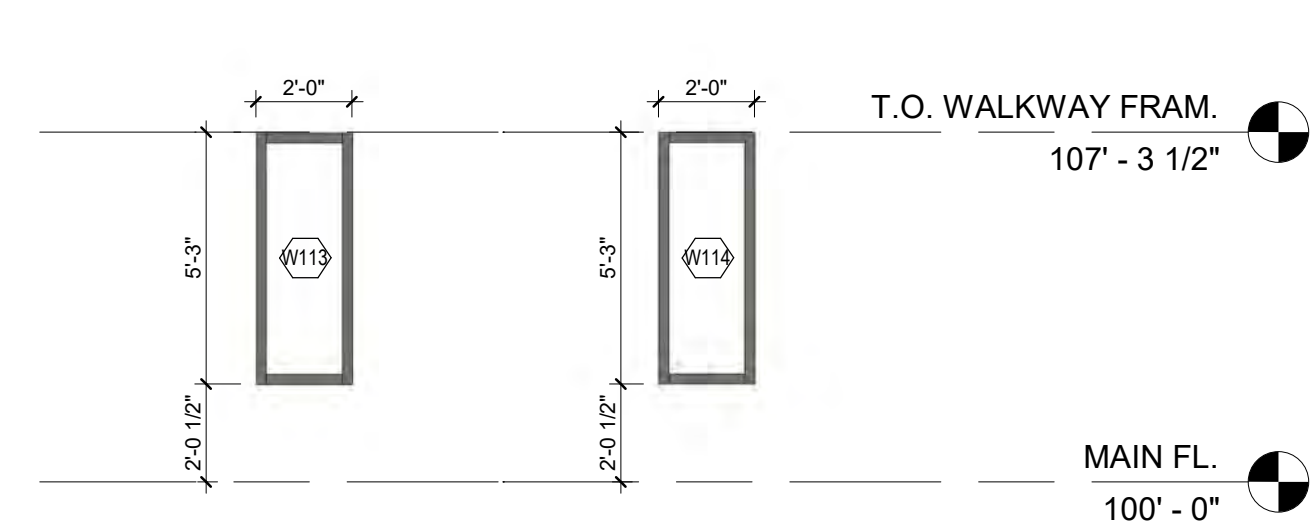
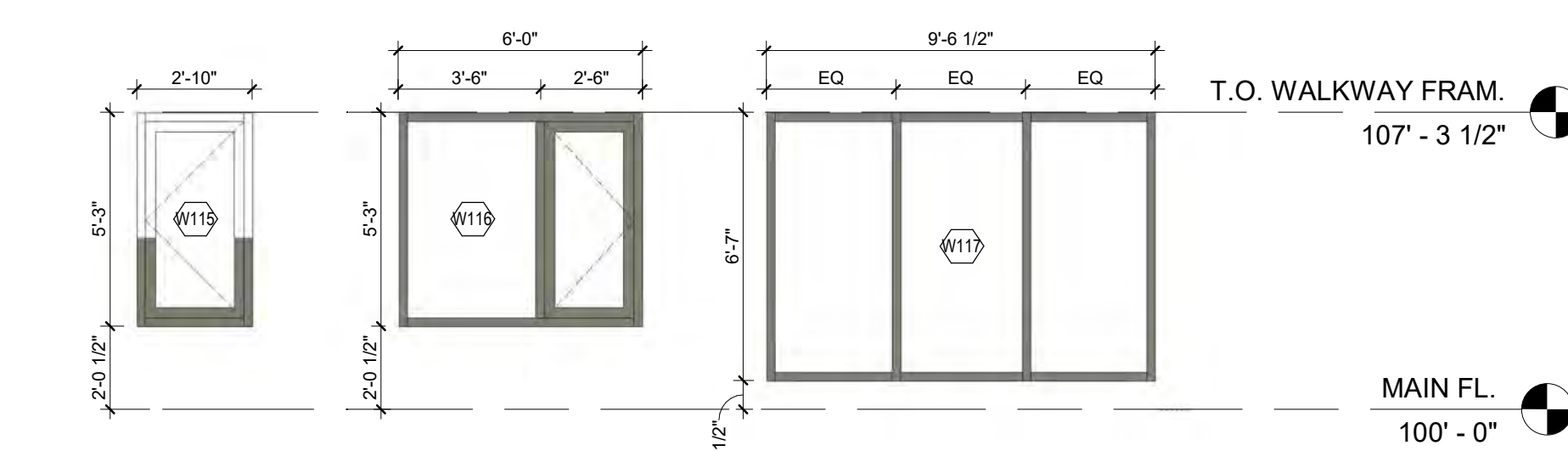
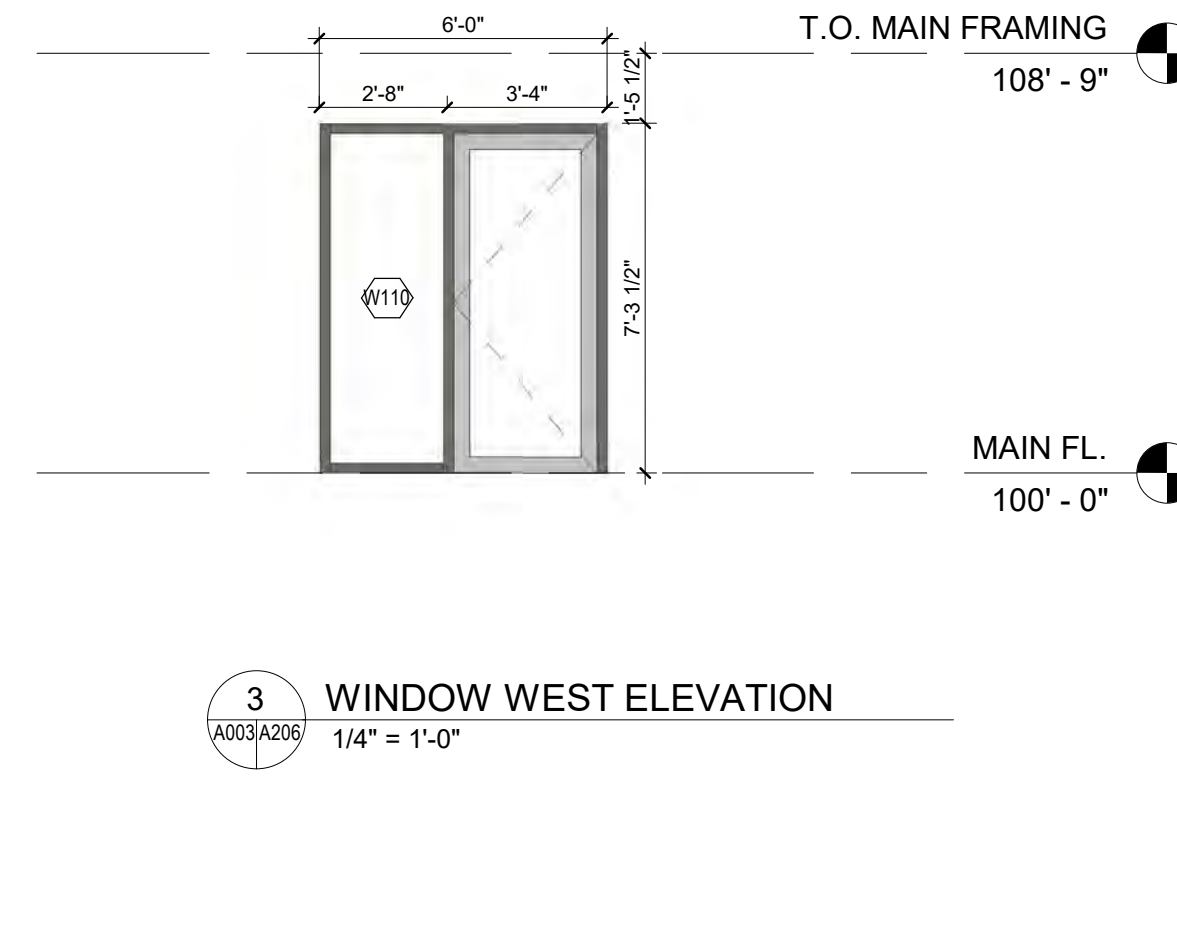
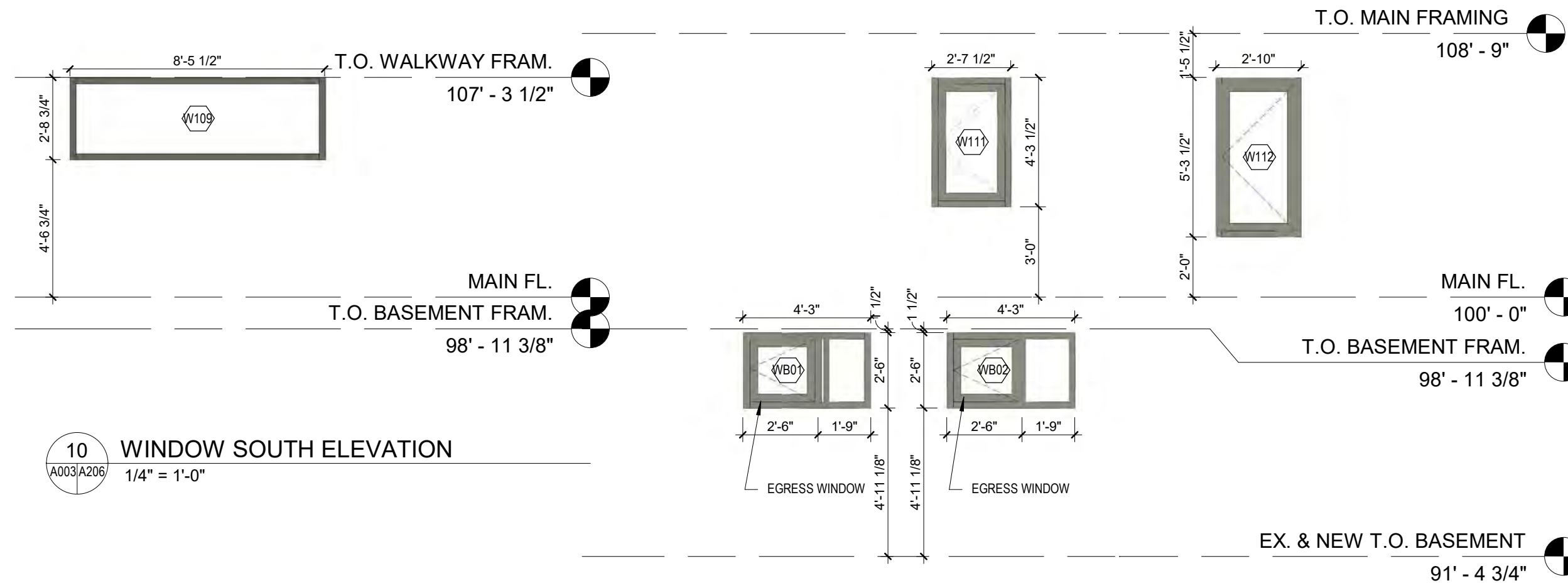
drawn	Author	scale	1/4" = 1'-0"
checked	Checker	project no.	21011

WINDOW SCHEDULE NOTES

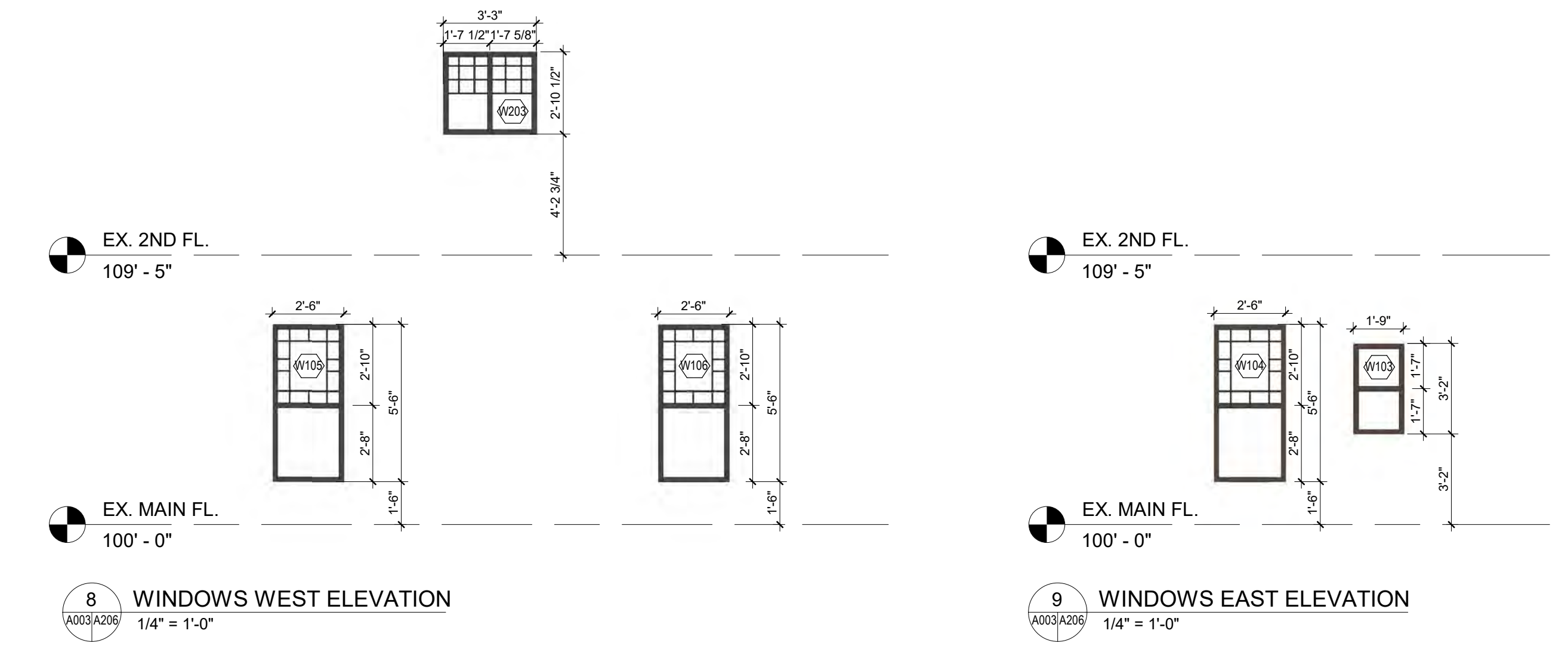
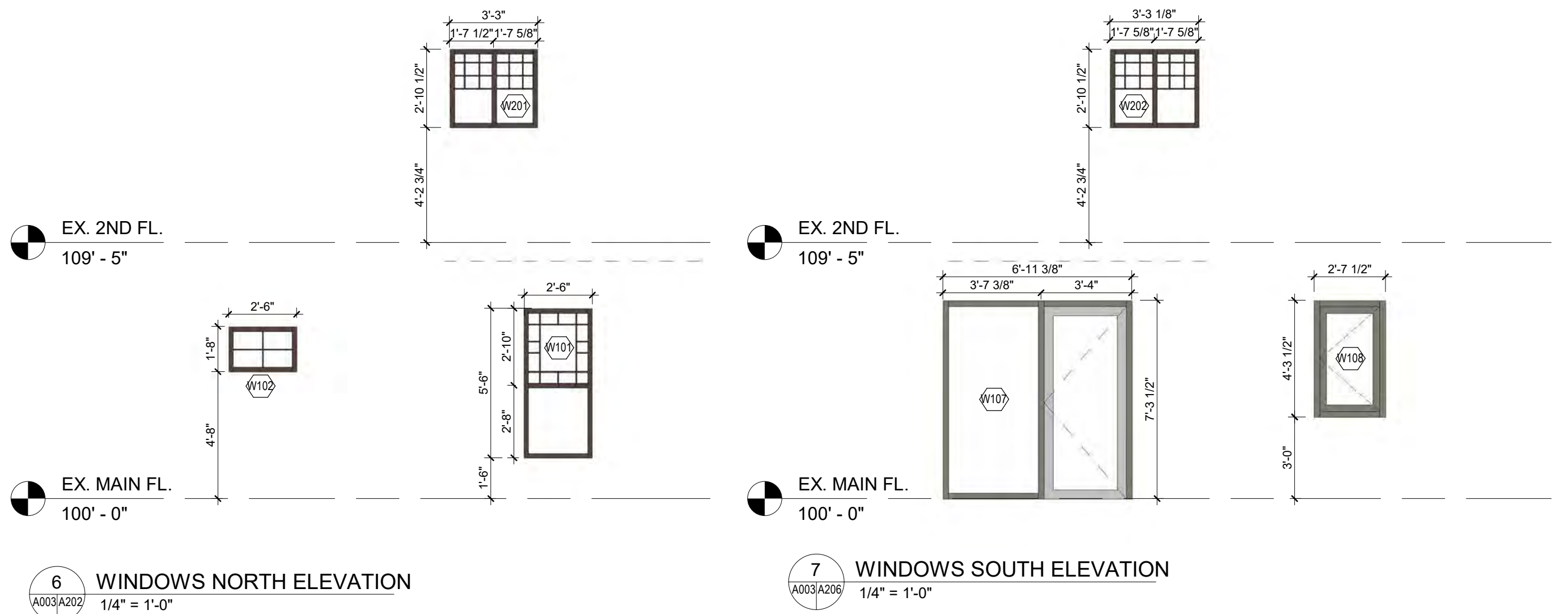
1. WINDOW DIMENSIONS ARE FOR ROUGH OPENING UNLESS NOTED OTHERWISE.
2. ALL FRAMES ARE ALUMICOR THERMAWALL2600 ANODIZED ALUMINUM UNLESS NOTED OTHERWISE. CUSTOM COLOUR
3. ALL WINDOWS SHALL BE SEALED TRIPLE-GLAZED UNITS.
4. ALL BEDROOM EGRESS WINDOWS TO CONFORM TO THE BUILDING CODE. NOTIFY THE ARCHITECT IF THERE ARE ANY CHANGES TO THE WINDOW SIZES SHOWN BELOW, PRIOR TO CONSTRUCTION.

DOOR GENERAL NOTES

1. VERIFY FRAME OPENING WITH MANUFACTURER AND FIELD.
2. VERIFY ALL ROUGH OPENING.
3. GLAZING SHALL MEET STANDARDS AS SET FORTH IN CHAPTER 3.3.1.19 NBC/AE - TRANSPARENT DOORS AND PANELS.
4. ALL EXTERIOR DOORS AND FRAMES SHALL BE INSULATED.
5. VERIFY ALL DOOR HARDWARE AND ALL DOOR HANDINGS PRIOR TO ORDERING. DOOR HARDWARE TO BE APPROVED BY CLIENT.
6. ALL EXTERIOR FRAME AND DOOR COLOURS TO BE CONFIRMED WITH THE ARCHITECT. ALL INTERIOR FRAME AND DOOR COLOURS TO BE CONFIRMED WITH INTERIOR DESIGNER.
7. SEE HARDWARE SCHEDULE BY HARDWARE CONSULTANT FOR ALL HARDWARE GROUPS DESCRIPTION.
8. ALL DOOR GLAZING IN EXTERIOR DOORS TO BE TRIPLE GLAZED TEMPERED GLASS.
9. ALL EXTERIOR DOORS SHALL BE INSULATED C/W ALUMINUM THRESHOLD AND WEATHERSTRIPPING, AS APPLICABLE.



SKYLIGHT SPECIFICATION:
S1 - VELUX CFP 090120 + ISD 1093

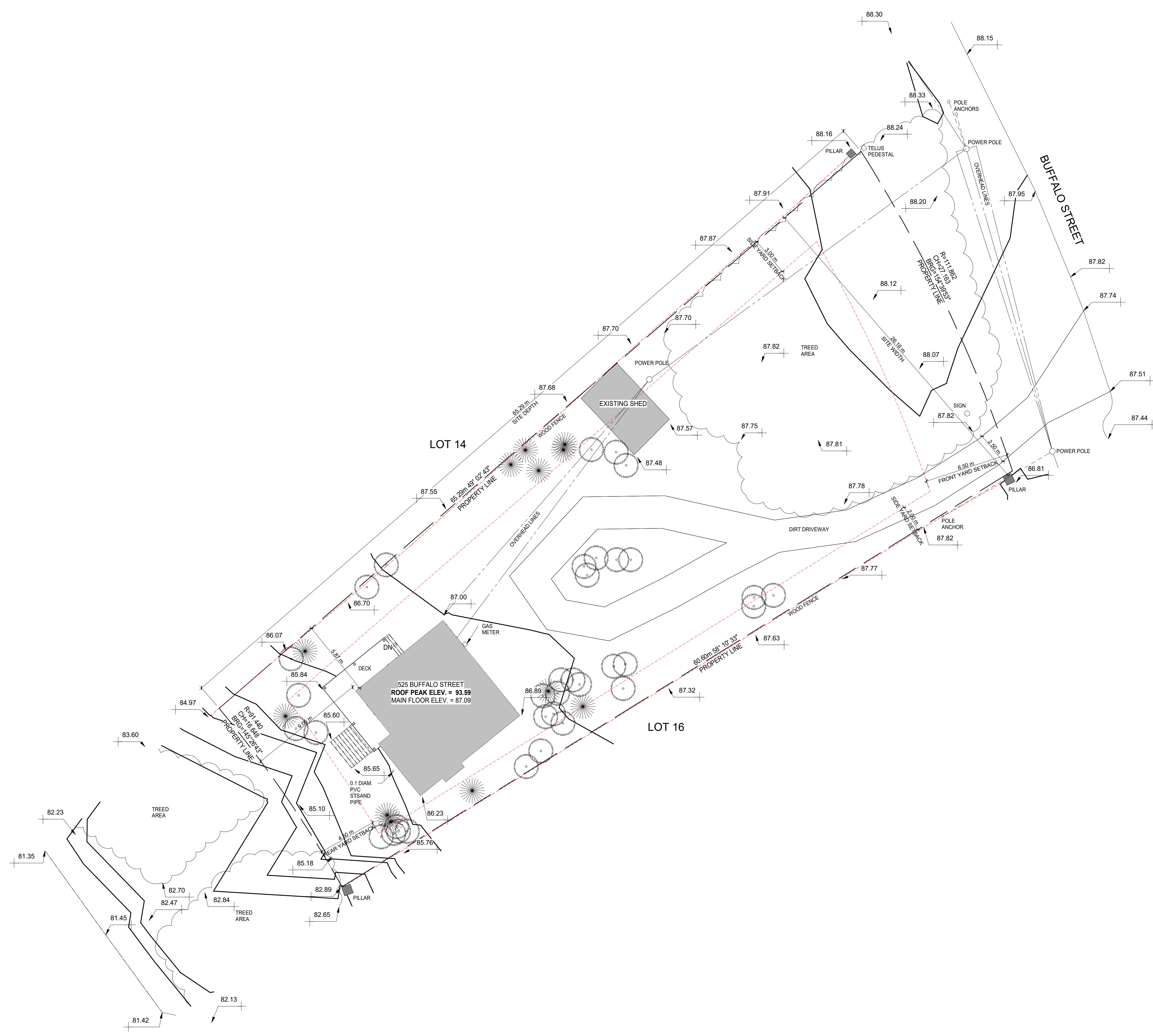


DOOR SCHEDULE

DOOR NUMBER	DOOR				FRAME			HARDWARE GROUP	COUNT	COMMENTS
	DOOR WIDTH	DOOR HEIGHT	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FRAME FINISH			
D201	2'-10"	6'-8"	EXISTING						1	EXISTING DOOR TO BE REUSED - REFINISHED
EX. 2ND FL.: 1										
DB01	2'-8"	6'-8"							1	
DB02	2'-6"	6'-8"							1	
DB03	2'-8"	6'-8"							1	
DB04	2'-8"	6'-8"							1	
DB05	2'-6"	6'-8"							1	
EX. NEW T.O. BASEMENT: 5										
D101	2'-10"	6'-8"	EXISTING						1	EXISTING DOOR TO REMAIN - REFINISHED
D102	2'-10"	6'-8"	EXISTING						1	EXISTING DOOR TO REMAIN - REFINISHED
D103	2'-10"	6'-8"	EXISTING						1	EXISTING DOOR TO REMAIN - REFINISHED
D104	3'-2"	7'-9 1/2"							1	
D105	2'-8"	6'-8"						POCKET DOOR KIT	1	DOOR HEIGHT TO MATCH EXISTING INTERIOR DOOR
D106	3'-0"	7'-0"						POCKET DOOR KIT	1	
EX. MAIN FL.: 6										
D107	2'-6"	6'-8"							1	
D108	4'-6"	6'-8"							1	
D109	2'-6"	6'-8"							1	
D110	2'-6"	6'-8"							1	
D111	2'-8"	6'-8"							1	
D112	2'-4"	6'-8"							1	
D113	2'-6"	7'-0"						POCKET DOOR KIT	1	
D114	2'-10"	7'-0"							1	
MAIN FL.: 8										
Grand total: 20										

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BM 1350 Rutherford Cottage 220303 Rutherford Residence A1



PROJECT STATISTICS

ADDRESS: 525 BUFFALO STREET
 LEGAL DESCRIPTION: LOT 15, BLOCK B, PLAN 50017

SITE AREA
 LOT AREA: 1,369 m²
 SITE WIDTH: 26.16 m
 SITE DEPTH: 65.29 m
 SITE COVERAGE ALLOWED: 30% MAX. = 410.4 m²
 EXISTING BUILDING SITE COVERAGE: 6.4%, 87.4 m²
 EXISTING SHED SITE COVERAGE: 1.7%, 22.9 m²
 PROPOSED SITE COVERAGE: 12.2%, 167.2 m²

GROSS BUILDING FLOOR AREA

EXISTING
 BASEMENT: 0.0 M²
 GROUND EXISTING: 86.6 M²
 SECOND EXISTING: 21.4 M²
 TOTAL: 108.0 M²

PROPOSED
 BASEMENT: 55.1 M²
 GROUND EXISTING: 69.7 M²
 SECOND EXISTING: 21.4 M²
 ADDITION: 80.4 M²
 TOTAL: 226.6 M²
 TOTAL INCREASE: 118.6M²

SETBACKS (YARDS) REQUIRED:

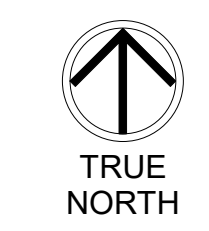
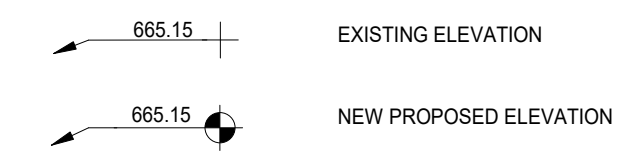
FRONT (EAST) = 6.5m
 REAR (WEST) = 4.5m
 SIDE (NORTH) = 3.0m
 SIDE (SOUTH) = 2.0m

BUILDING HEIGHT ALLOWED: 8.0m
 BUILDING HEIGHT OF PROPOSED ADDITION: 3.78m
 FAR ALLOWED: .35
 FAR PROPOSED: 193 m²/1,369 m²=.14

GEODETTIC ELEVATIONS OF SITE

EXISTING FINISHED MAIN FLOOR = 87.09
 EXISTING ROOF RIDGE = 93.59
 PROPOSED FINISHED MAIN FLOOR (ADDITION) = 87.09
 PROPOSED ROOF RIDGE (ADDITION) = 91.86

SITE GRADING LEGEND



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client

BOWSTRINGS
FOUNDATION

project

RUTHERFORD
RESIDENCE

drawing title

EXISTING SITE PLAN

sheet

A101

drawn **Author** scale **As indicated**

checked **Checker** project no. **21011**

1 EXISTING SITE PLAN
 1 : 150

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BM 100 (Rutherford College) 220303 Rutherford Residence N



1 PROPOSED SITE PLAN
1 : 150

PROJECT STATISTICS

ADDRESS: 525 BUFFALO STREET
LEGAL DESCRIPTION: LOT 15, BLOCK B, PLAN 50017

SITE AREA
LOT AREA: 1,369 m²
SITE WIDTH: 26.16 m
SITE DEPTH: 65.29 m
SITE COVERAGE ALLOWED: 30% MAX. = 410.4 m²
EXISTING BUILDING SITE COVERAGE: 6.4%, 87.4 m²
EXISTING SHED SITE COVERAGE: 1.7%, 22.9 m²
PROPOSED SITE COVERAGE: 12.2%, 167.2 m²

GROSS BUILDING FLOOR AREA

EXISTING
BASEMENT: 0.0 M²
GROUND EXISTING: 86.6 M²
SECOND EXISTING: 21.4 M²
TOTAL: 108.0 M²

PROPOSED
BASEMENT: 55.1 M²
GROUND EXISTING: 69.7 M²
SECOND EXISTING: 21.4 M²
ADDITION: 80.4 M²
TOTAL: 226.6 M²
TOTAL INCREASE: 118.6 M²

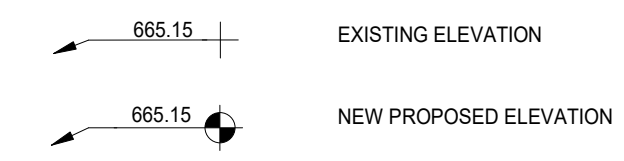
SETBACKS (YARDS) REQUIRED:
FRONT (EAST) = 6.5m
REAR (WEST) = 4.5m
SIDE (NORTH) = 3.0m
SIDE (SOUTH) = 2.0m

BUILDING HEIGHT ALLOWED: 8.0m
BUILDING HEIGHT OF PROPOSED ADDITION: 3.78m
FAR ALLOWED: .35
FAR PROPOSED: 193 m²/1,369 m²=.14

GEODETTIC ELEVATIONS OF SITE

EXISTING FINISHED MAIN FLOOR = 87.09
EXISTING ROOF RIDGE = 93.59
PROPOSED FINISHED MAIN FLOOR (ADDITION) = 87.09
PROPOSED ROOF RIDGE (ADDITION) = 91.86

SITE GRADING LEGEND



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BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

drawing title

PROPOSED SITE PLAN

sheet

A102

drawn

Author

scale

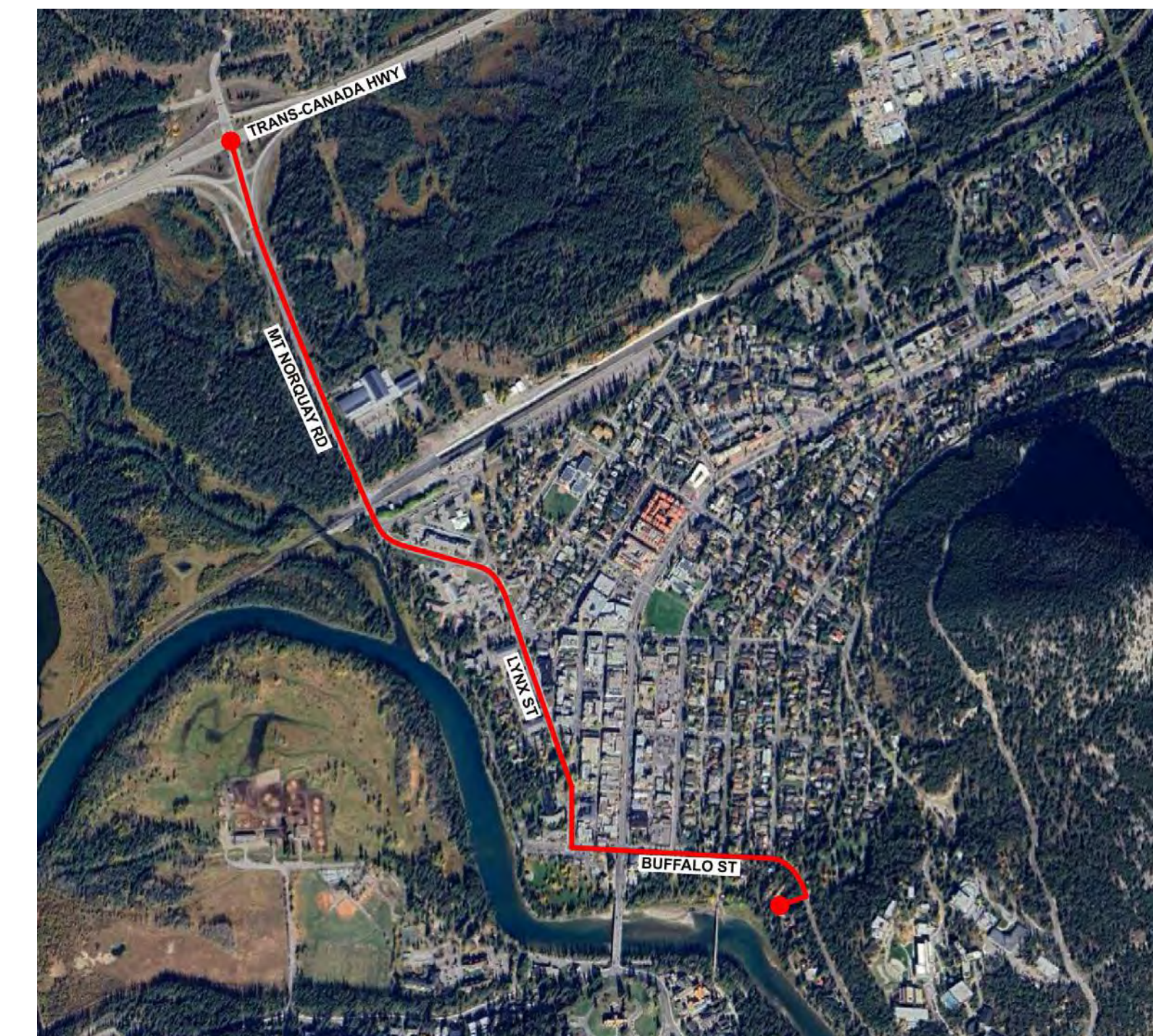
As indicated

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project no.

21011



TRUCK ACCESS ROUTE
N.T.S.



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RUTHERFORD RESIDENCE

drawing title

LANDSCAPE PLAN

sheet

A103

drawn

JP

scale

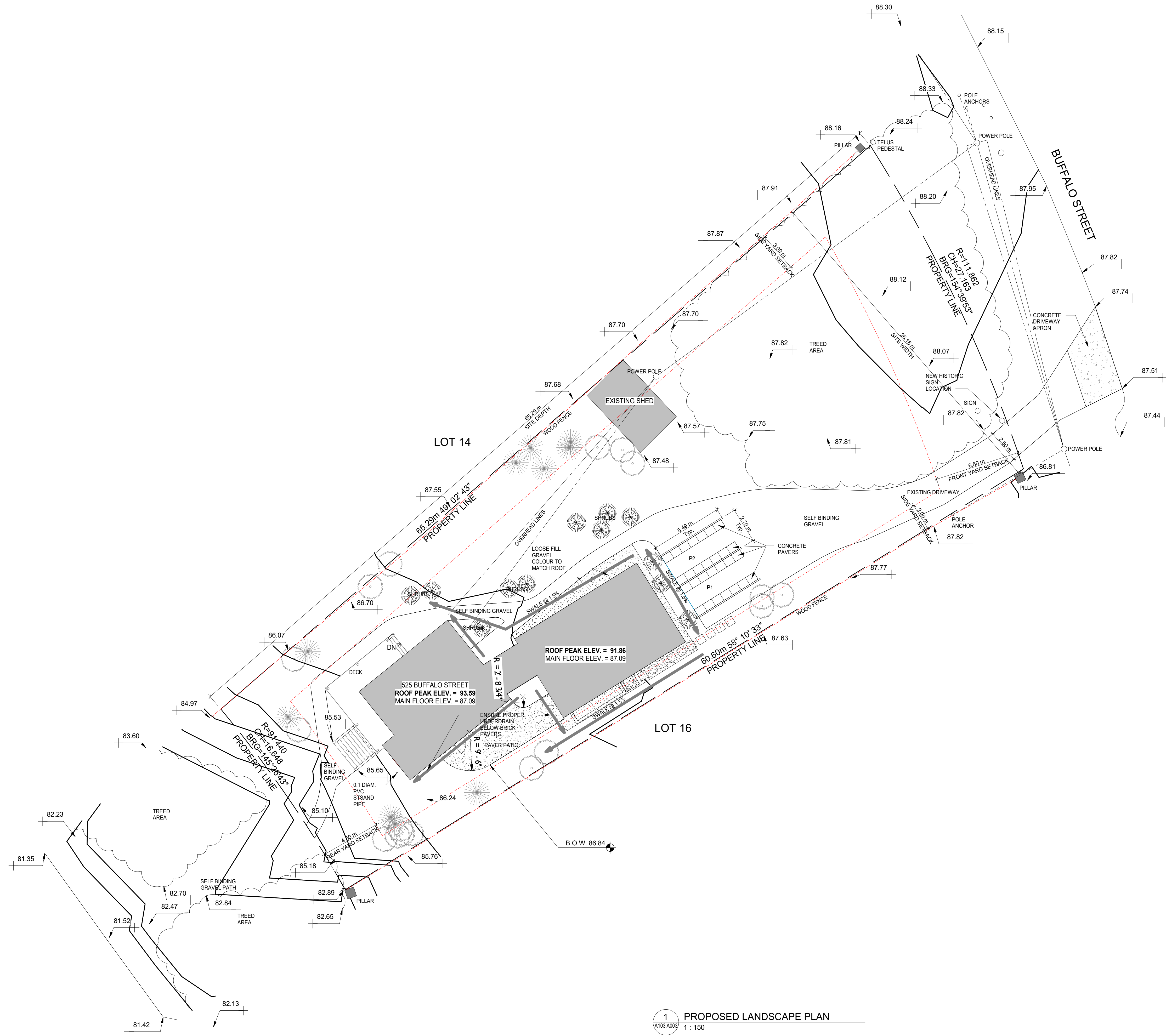
As indicated

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project no.

21011



GEODETIC ELEVATIONS OF SITE

EXISTING FINISHED MAIN FLOOR = 87.09
EXISTING ROOF RIDGE = 93.59
PROPOSED FINISHED MAIN FLOOR (ADDITION) = 87.09
PROPOSED ROOF RIDGE (ADDITION) = 91.86

SITE GRADING LEGEND

865.15 + EXISTING ELEVATION
 865.15 - NEW PROPOSED ELEVATION

LANDSCAPE LEGEND

○ EXISTING SPRUCE TREE
 * EXISTING PINE TREE
 ☁ TREED AREA

STORMWATER MANAGEMENT

DEVELOPMENT WILL NOT TIE INTO THE TOWN OF BANFF STORMWATER SYSTEM. STORMWATER TO DRAIN ALONG SOFT LANDSCAPING TO RIVER

1 PROPOSED LANDSCAPE PLAN
1:150

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BM 100 (Rutherford Cottage) 202003 (Rutherford Residence).x4

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**BOWSTRINGS
FOUNDATION**

project

**RUTHERFORD
RESIDENCE**

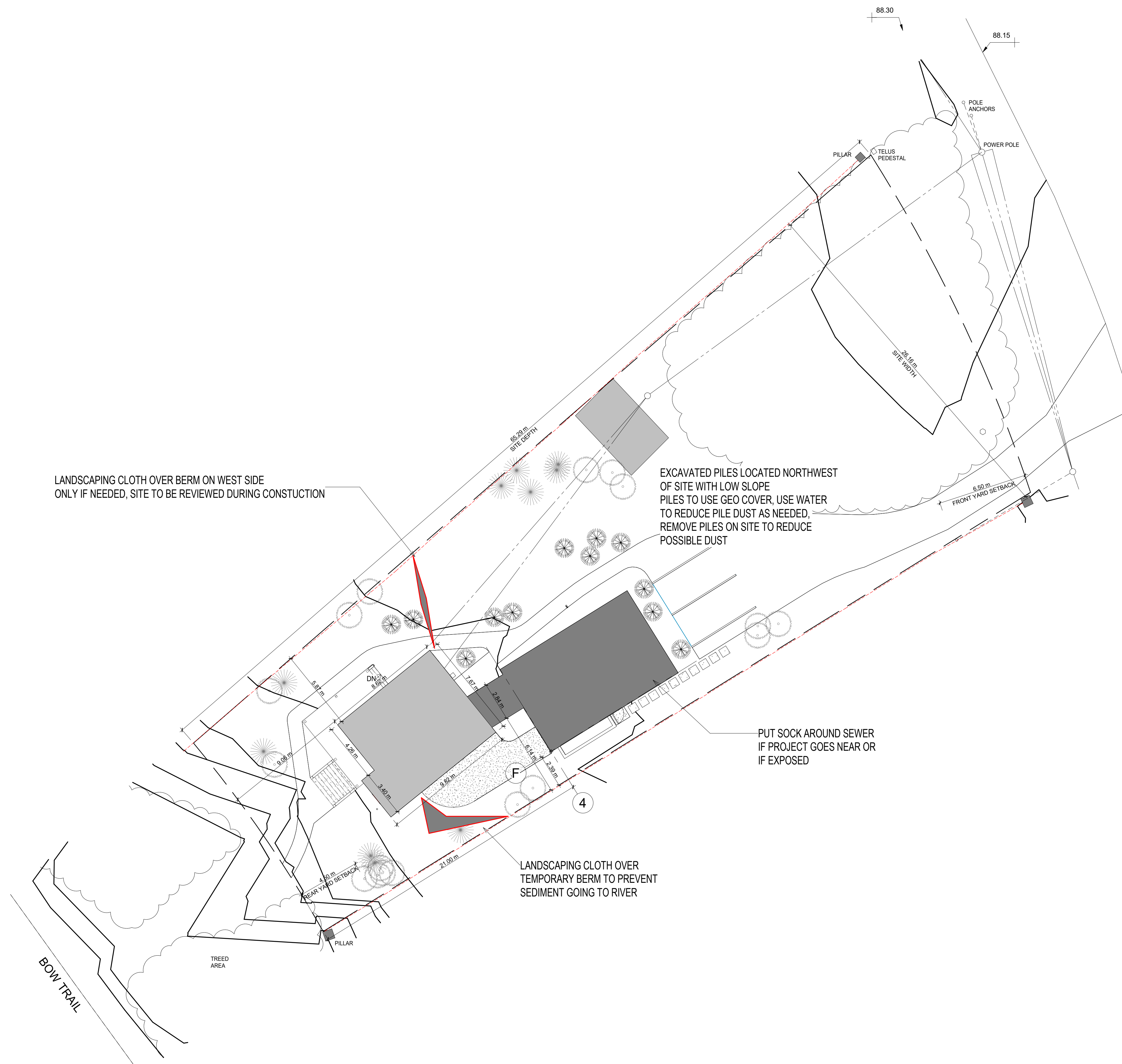
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**SEDIMENT AND EROSION
CONTROL PLAN**

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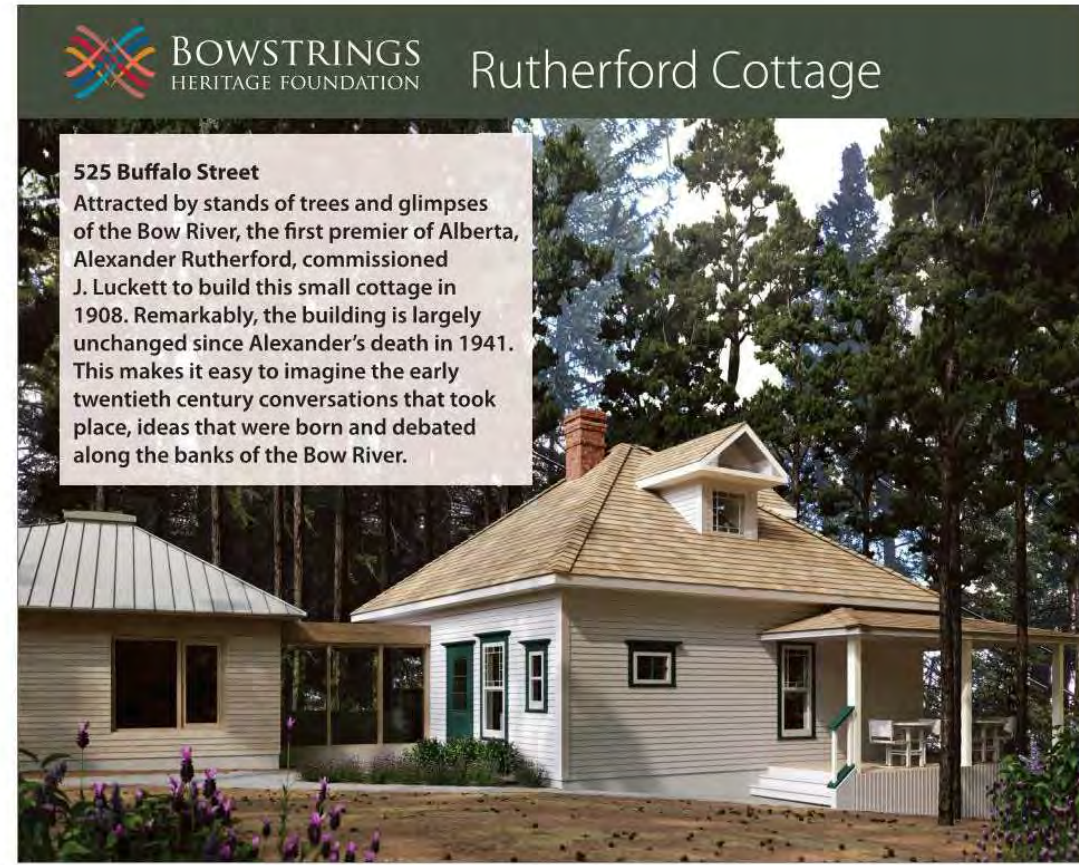
A104

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checked	Checker	project no.	21011



SITE HOARDING:

HEIGHT: 1.8 m
 COLOUR: GRAPHICAL - MIN 2 PANELS
 CHARCOAL GREY - REMAINDER
 PANELS: 14



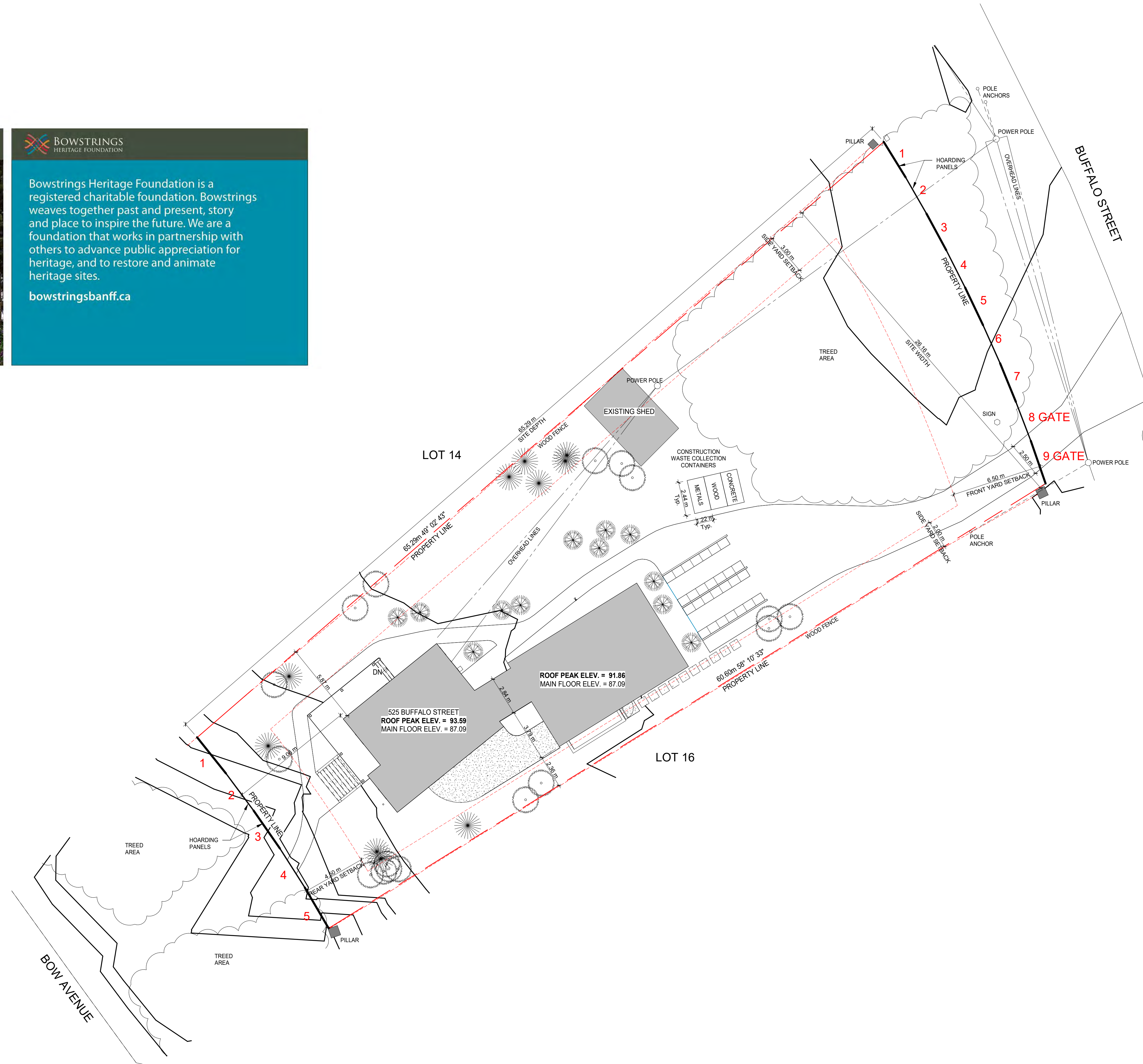
DRAFT SITE HOARDING GRAPHICS

BOWSTRINGS HERITAGE FOUNDATION
Rutherford Cottage

525 Buffalo Street
 Attracted by stands of trees and glimpses of the Bow River, the first premier of Alberta, Alexander Rutherford, commissioned J. Luckett to build this small cottage in 1908. Remarkably, the building is largely unchanged since Alexander's death in 1941. This makes it easy to imagine the early twentieth century conversations that took place, ideas that were born and debated along the banks of the Bow River.

Bowstrings Heritage Foundation is a registered charitable foundation. Bowstrings weaves together past and present, story and place to inspire the future. We are a foundation that works in partnership with others to advance public appreciation for heritage, and to restore and animate heritage sites.

bowstringsbanff.ca



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CONSTRUCTION HOARDING & WASTE COLLECTION PLAN

sheet

A105

drawn	BC	scale	1 : 150
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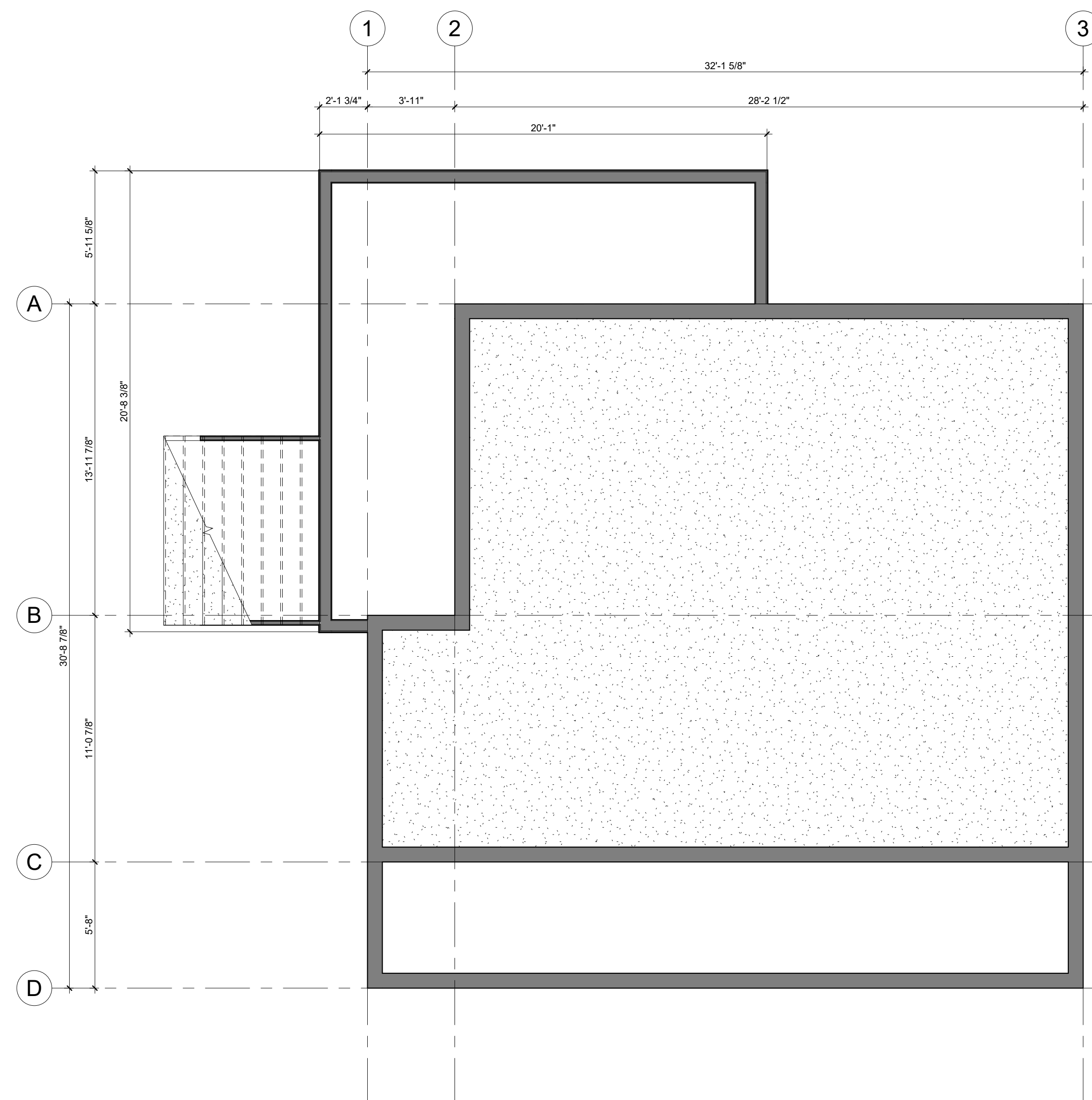
**EXISTING AND DEMOLITION
FOUNDATION PLANS**

sheet

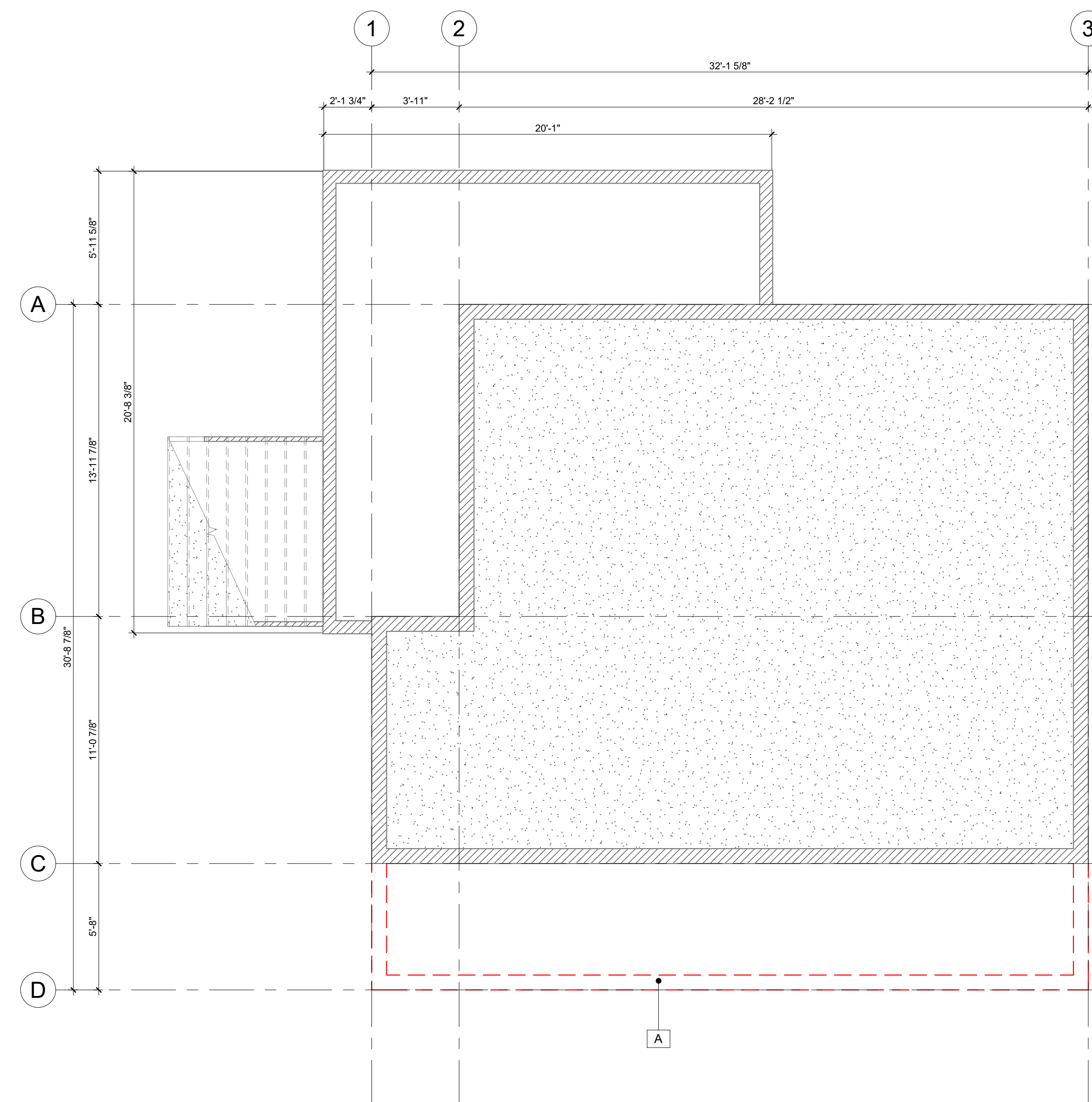
A201

drawn	Author	scale	As indicated
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checked	Checker	project no.	21011
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1 EXISTING FOUNDATION PLAN
A201/A003 1/4" = 1'-0"



2 FOUNDATION DEMOLITION PLAN
A201/A003 1/4" = 1'-0"

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING TO BE REMOVED
- SEE NOTES

DEMOLITION NOTES	
Key Value	Keynote Text
A	REMOVE EXISTING CONCRETE FOUNDATION WALL.
B	REMOVE ALL WALLS & WINDOWS SHOWN AS DASHED. EXISTING EXTERIOR FINISHES TO BE REFINISHED AND REUSED WHERE POSSIBLE. PATCH AND REPAIR WALLS THAT REMAIN.
C	REMOVE EXISTING DOOR AND FRAME. DOOR TRIMS TO BE REFINISHED AND REUSED AT NEW POCKET DOOR LOCATIONS IF POSSIBLE.
D	REMOVE EXISTING DOOR AND FRAME. INFILL WITH WOOD STUDS TO MATCH EXISTING.
E	REMOVE EXISTING DOOR AND FRAME.
F	REMOVE EXISTING PLUMBING FIXTURES.
G	REMOVE EXISTING BRICK FIREPLACE AND CHIMNEY.
H	REMOVE EXISTING WINDOW AND FRAME. INFILL WITH WOOD STUDS TO SUIT NEW WINDOW SIZE. PATCH AND REPAIR STUDS THAT REMAIN. EXISTING EXTERIOR FINISHES TO BE REFINISHED AND REUSED WHERE POSSIBLE.
I	REMOVE EXISTING KITCHEN MILLWORK. PATCH AND REPAIR WALLS THAT REMAIN.
J	REMOVE EXISTING SCREENS AT EXISTING DECK.
K	REMOVE EXISTING INTERIOR SHEATHING/FINISH AND INSULATION. PATCH AND REPAIR EXISTING STUDS AND MAKE READY FOR SPRAY FOAM INSULATION. SAVE EXISTING TRIMS AND BASEBOARDS TO BE REFINISHED AND REUSED THROUGHOUT EXISTING HOUSE. TYPICAL FOR ALL EXISTING EXTERIOR WALLS THAT REMAIN.
L	REMOVE EXISTING INTERIOR WINDOW TRIMS TO ACCOMMODATE EXISTING EXTERIOR WALL IMPROVEMENT. WINDOW TRIMS TO BE REFINISHED AND REUSED WHERE POSSIBLE.
M	REMOVE EXISTING ROOF. PATCH AND REPAIR ROOF ASSEMBLY THAT REMAIN.
N	REMOVE PART OF EXISTING WALL TO CREATE AN OPENING.
O	REMOVE EXISTING DOOR AND FRAME. DOOR AND TRIMS TO BE REFINISHED AND REUSED.
P	REMOVE EXISTING INTERIOR FINISH. PATCH AND REPAIR EXISTING STUDS. BASEBOARD TO BE REFINISHED AND REUSED WHERE POSSIBLE. TYPICAL FOR ALL EXISTING INTERIOR WALLS THAT REMAIN.

project architect

seal

consultant

permit

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client

BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

drawing title

PROPOSED FOUNDATION PLAN

sheet

A202

drawn

Author

scale

1/4" = 1'-0"

checked

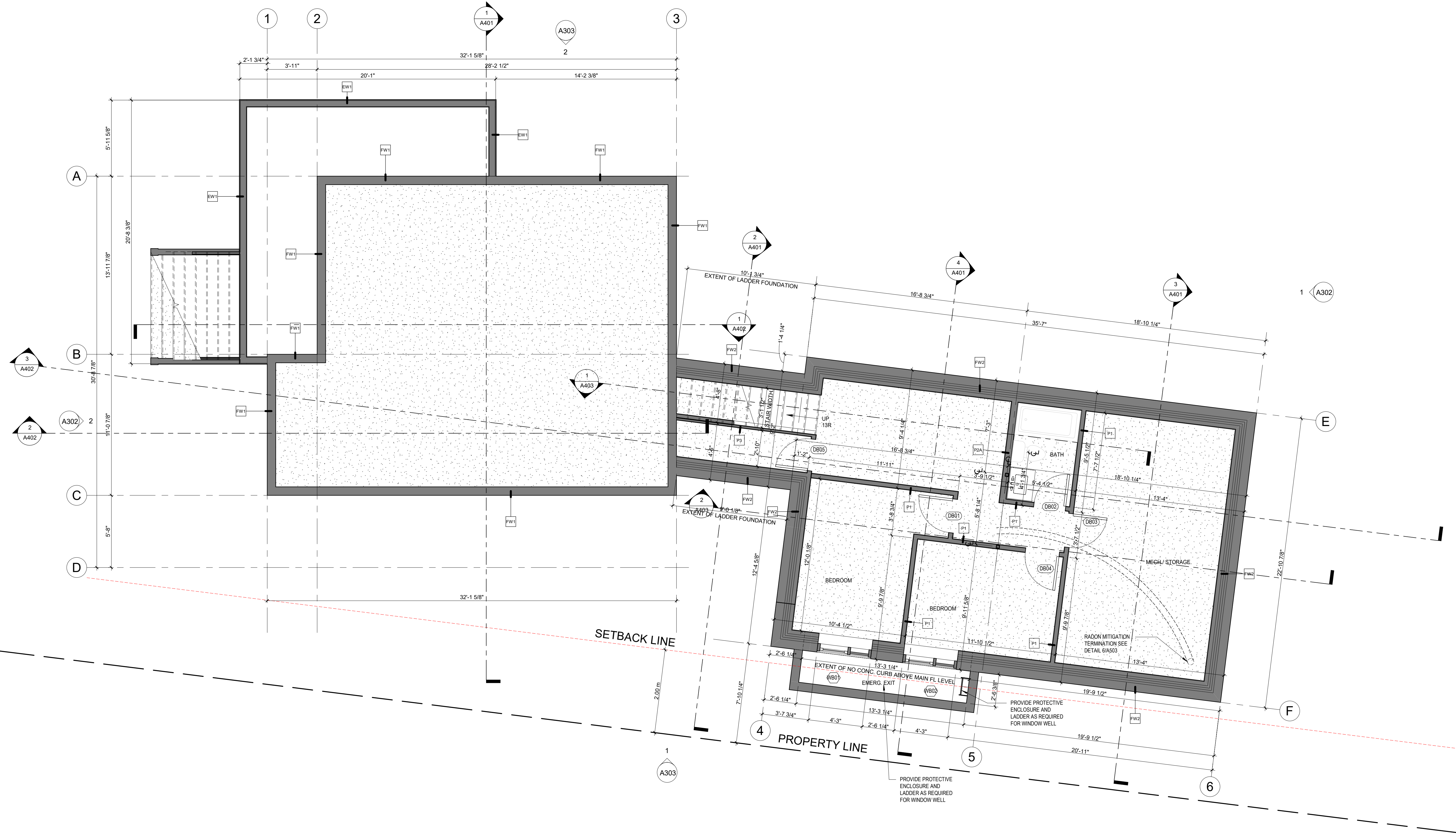
Checker

project no.

21011

12/06/2022 2:07:18 PM

BM 1301 Rutherford Cottage 220303 Rutherford Residence A1



1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"

project architect

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client

BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

drawing title

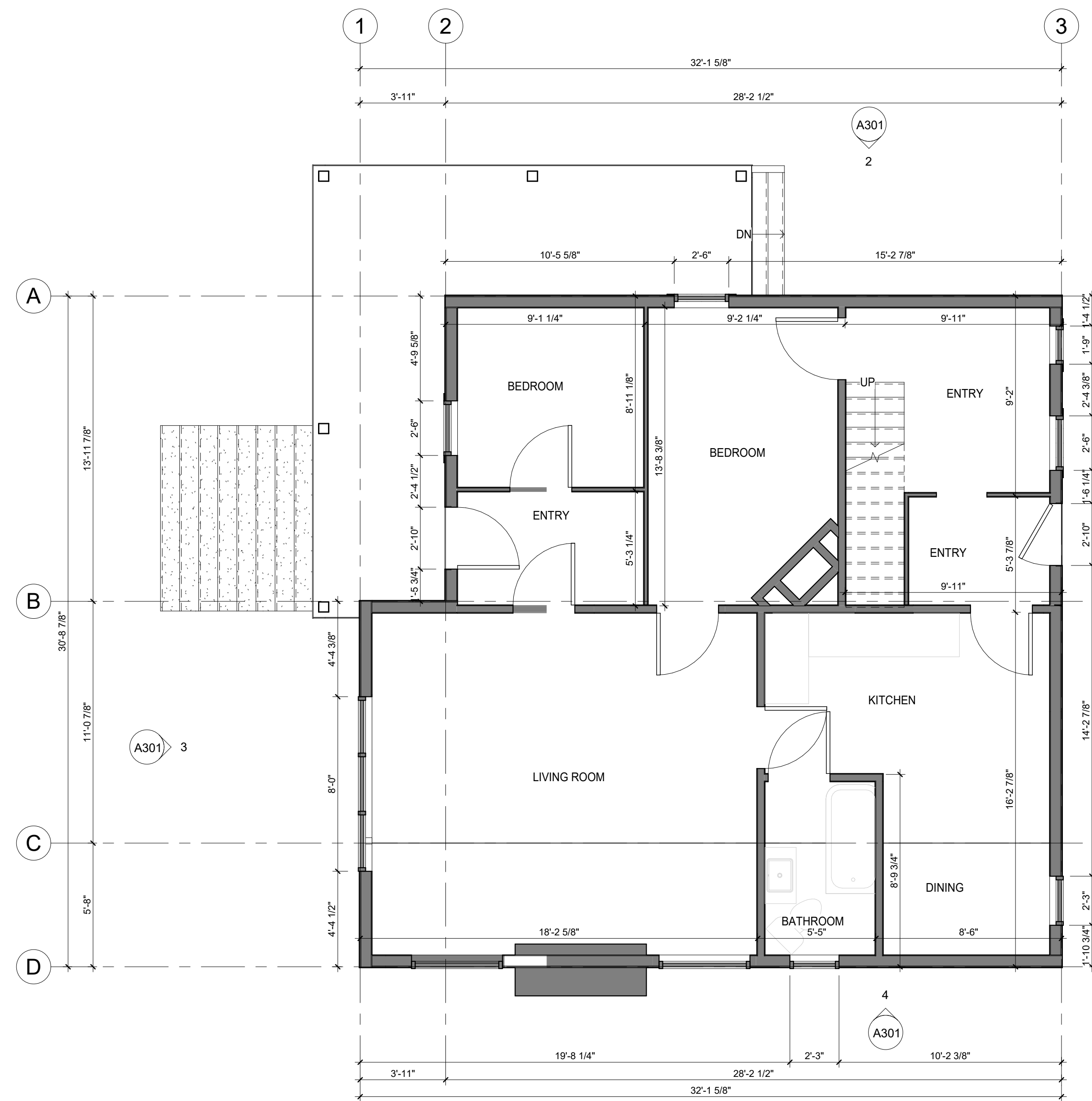
EXISTING AND DEMOLITION MAIN FLOOR PLANS

sheet

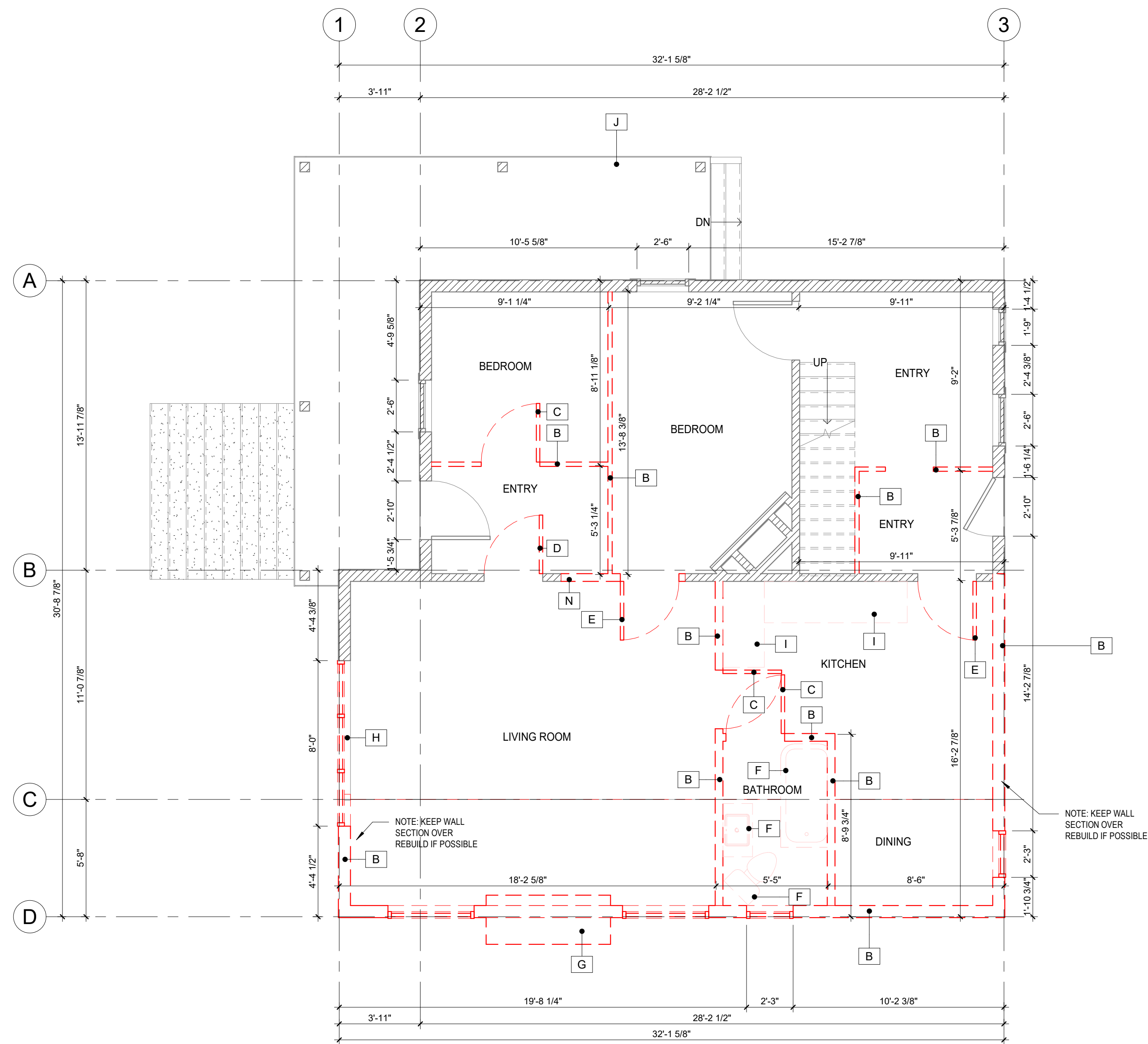
A203

drawn **Author** scale **As indicated**

checked **Checker** project no. **21011**



1 EXISTING MAIN FLOOR PLAN
A203/A003 1/4" = 1'-0"



2 MAIN FLOOR DEMOLITION PLAN
A203/A003 1/4" = 1'-0"

LEGEND

Key Value	Keynote Text
A	REMOVE EXISTING CONCRETE FOUNDATION WALL.
B	REMOVE ALL WALLS & WINDOWS SHOWN AS DASHED. EXISTING EXTERIOR FINISHES TO BE REFINISHED AND REUSED WHERE POSSIBLE. PATCH AND REPAIR WALLS THAT REMAIN.
C	REMOVE EXISTING DOOR AND FRAME. DOOR TRIMS TO BE REFINISHED AND REUSED AT NEW POCKET DOOR LOCATIONS IF POSSIBLE.
D	REMOVE EXISTING DOOR AND FRAME. INFILL WITH WOOD STUDS TO MATCH EXISTING.
E	REMOVE EXISTING DOOR AND FRAME.
F	REMOVE EXISTING PLUMBING FIXTURES.
G	REMOVE EXISTING BRICK FIREPLACE AND CHIMNEY.
H	REMOVE EXISTING WINDOW AND FRAME. INFILL WITH WOOD STUDS TO SUIT NEW WINDOW SIZE. PATCH AND REPAIR STUDS THAT REMAIN. EXISTING EXTERIOR FINISHES TO BE REFINISHED AND REUSED WHERE POSSIBLE.
I	REMOVE EXISTING KITCHEN MILLWORK. PATCH AND REPAIR WALLS THAT REMAIN.
J	REMOVE EXISTING SCREENS AT EXISTING DECK.
K	REMOVE EXISTING INTERIOR SHEATHING/FINISH AND INSULATION. PATCH AND REPAIR EXISTING STUDS AND MAKE READY FOR SPRAY FOAM INSULATION. SAVE EXISTING TRIMS AND BASEBOARDS TO BE REFINISHED AND REUSED THROUGHOUT EXISTING HOUSE. TYPICAL FOR ALL EXISTING EXTERIOR WALLS THAT REMAIN.
L	REMOVE EXISTING INTERIOR WINDOW TRIMS TO ACCOMMODATE EXISTING EXTERIOR WALL IMPROVEMENT. WINDOW TRIMS TO BE REFINISHED AND REUSED WHERE POSSIBLE.
M	REMOVE EXISTING ROOF. PATCH AND REPAIR ROOF ASSEMBLY THAT REMAIN.
N	REMOVE PART OF EXISTING WALL TO CREATE AN OPENING.
O	REMOVE EXISTING DOOR AND FRAME. DOOR AND TRIMS TO BE REFINISHED AND REUSED.
P	REMOVE EXISTING INTERIOR FINISH. PATCH AND REPAIR EXISTING STUDS. BASEBOARD TO BE REFINISHED AND REUSED WHERE POSSIBLE. TYPICAL FOR ALL EXISTING INTERIOR WALLS THAT REMAIN.

project architect

seal

consultant

permit

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client

BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

drawing title

PROPOSED MAIN FLOOR PLAN

sheet

A204

drawn

Author

scale

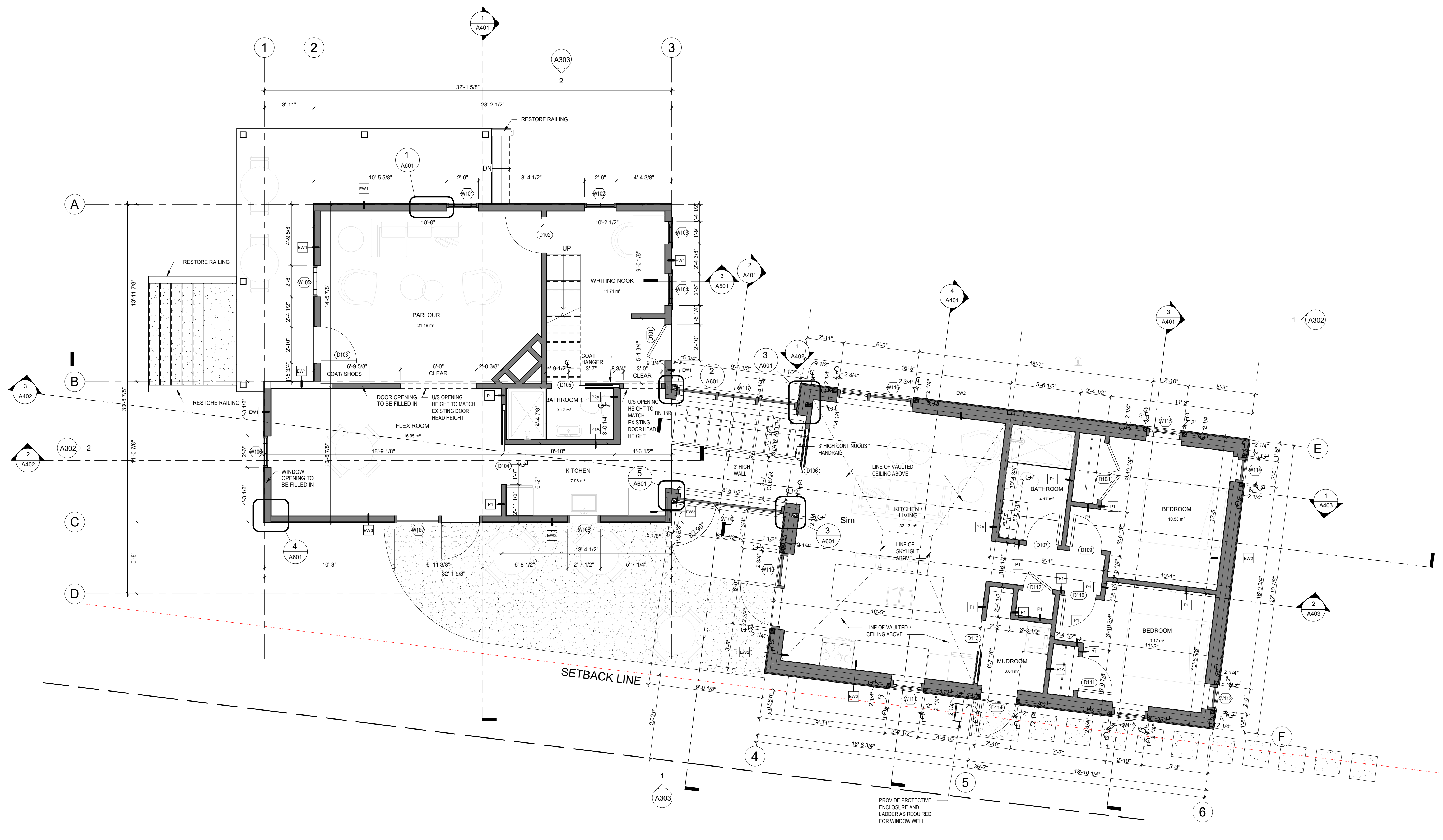
As indicated

checked

Checker

project no.

21011



1 PROPOSED MAIN FLOOR PLAN
A204A003 1/4" = 1'-0"

LEGEND
 EXISTING WALLS TO REMAIN
 EXISTING TO BE REMOVED - SEE NOTES

12/06/2022 2:07:20 PM

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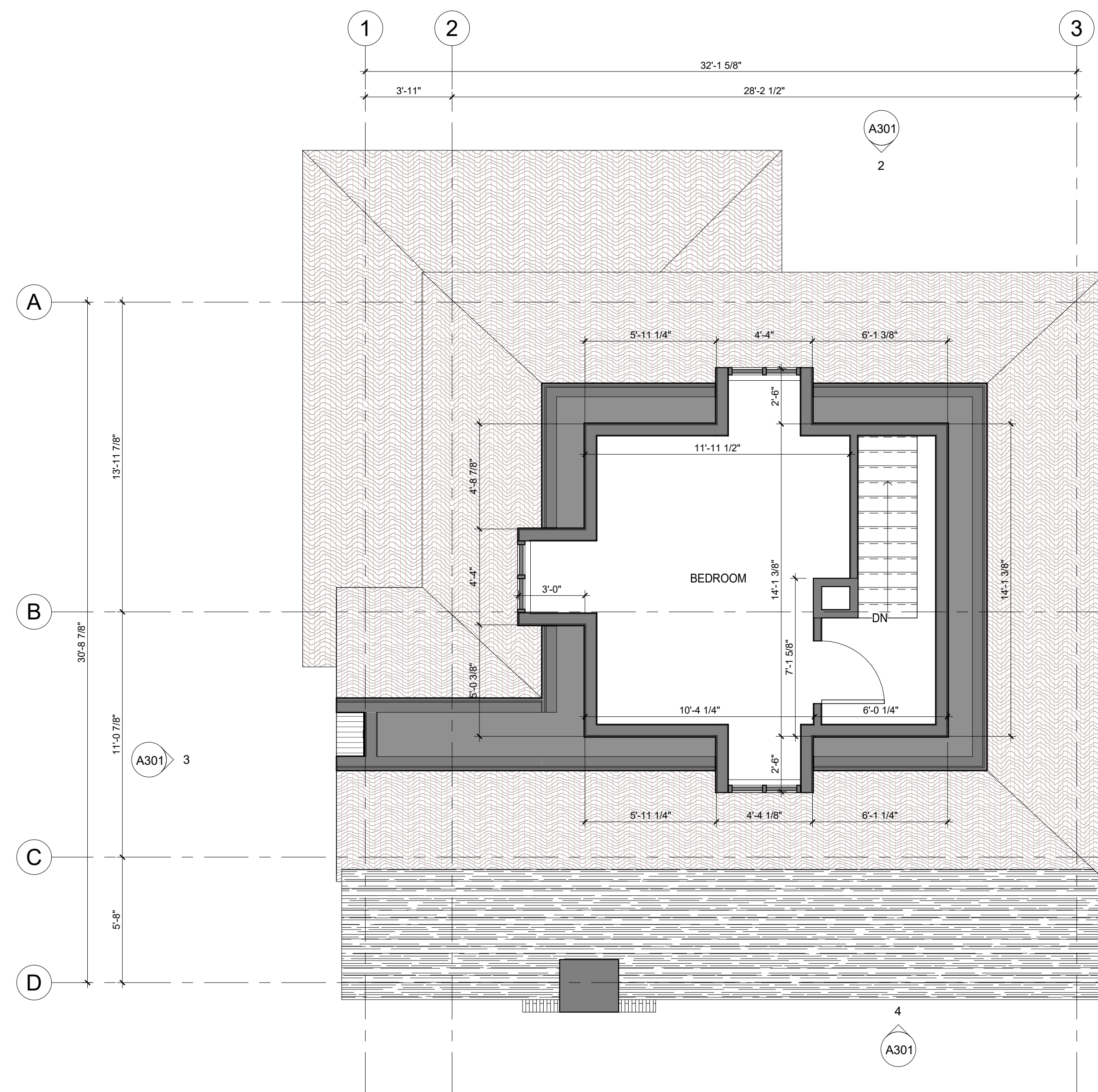
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**BOWSTRINGS
FOUNDATION**

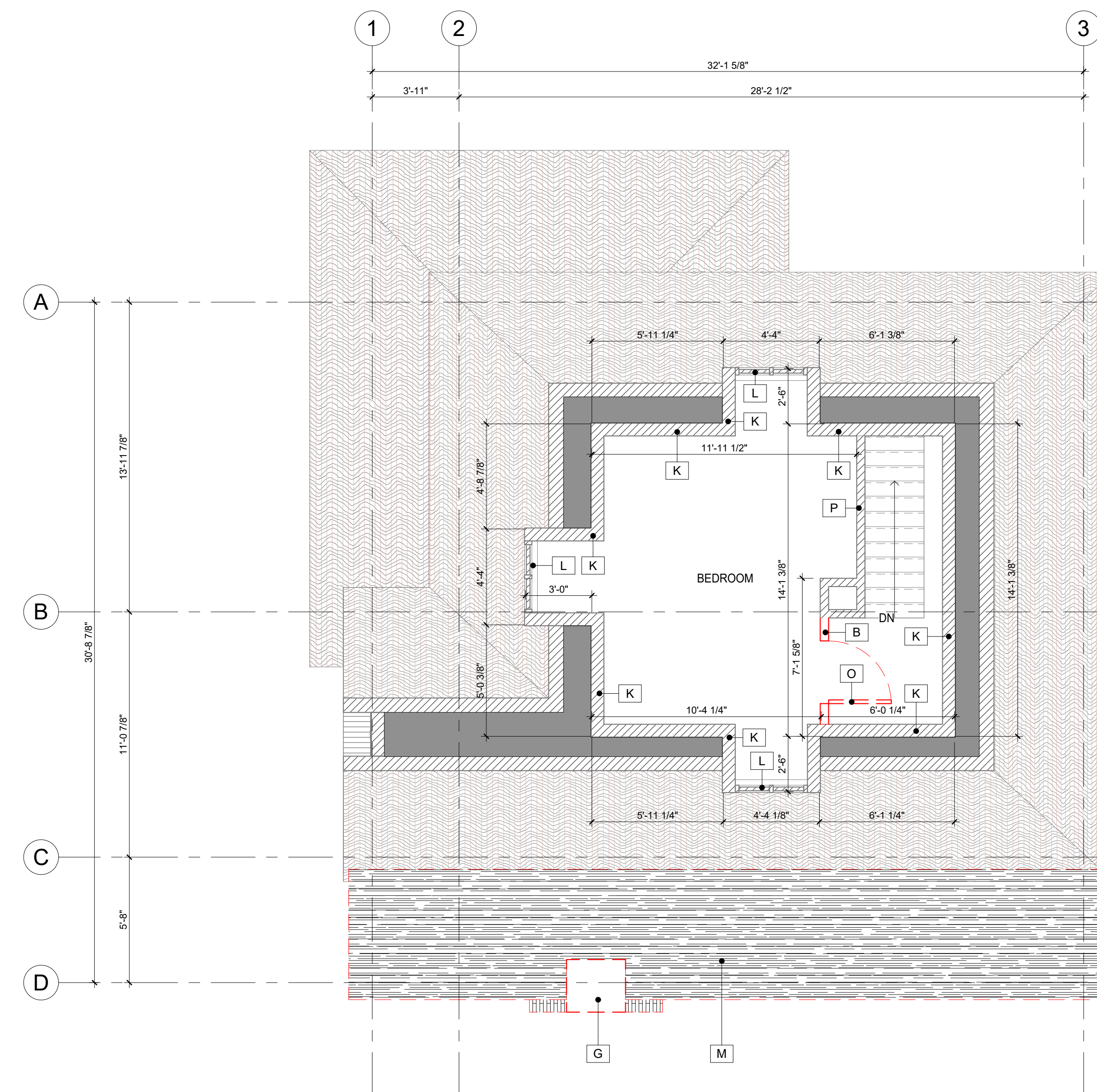
**RUTHERFORD
RESIDENCE**

**EXISTING AND DEMOLITION
2ND FLOOR PLANS**

A205



1 EXISTING 2ND FLOOR PLAN
A205/A301 1/4" = 1'-0"



2 2ND FLOOR DEMOLITION PLAN
A205/A301 1/4" = 1'-0"

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING TO BE REMOVED - SEE NOTES

DEMOLITION NOTES	
Key Value	Keynote Text
A	REMOVE EXISTING CONCRETE FOUNDATION WALL.
B	REMOVE ALL WALLS & WINDOWS SHOWN AS DASHED. EXISTING EXTERIOR FINISHES TO BE REFINISHED AND REUSED WHERE POSSIBLE. PATCH AND REPAIR WALLS THAT REMAIN.
C	REMOVE EXISTING DOOR AND FRAME. DOOR TRIMS TO BE REFINISHED AND REUSED AT NEW POCKET DOOR LOCATIONS IF POSSIBLE.
D	REMOVE EXISTING DOOR AND FRAME. INFILL WITH WOOD STUDS TO MATCH EXISTING.
E	REMOVE EXISTING DOOR AND FRAME.
F	REMOVE EXISTING PLUMBING FIXTURES.
G	REMOVE EXISTING BRICK FIREPLACE AND CHIMNEY.
H	REMOVE EXISTING WINDOW AND FRAME. INFILL WITH WOOD STUDS TO SUIT NEW WINDOW SIZE. PATCH AND REPAIR STUDS THAT REMAIN. EXISTING EXTERIOR FINISHES TO BE REFINISHED AND REUSED WHERE POSSIBLE.
I	REMOVE EXISTING KITCHEN MILLWORK. PATCH AND REPAIR WALLS THAT REMAIN.
J	REMOVE EXISTING SCREENS AT EXISTING DECK.
K	REMOVE EXISTING INTERIOR SHEATHING/FINISH AND INSULATION. PATCH AND REPAIR EXISTING STUDS AND MAKE READY FOR SPRAY FOAM INSULATION. SAVE EXISTING TRIMS AND BASEBOARDS TO BE REFINISHED AND REUSED THROUGHOUT EXISTING HOUSE. TYPICAL FOR ALL EXISTING EXTERIOR WALLS THAT REMAIN.
L	REMOVE EXISTING INTERIOR WINDOW TRIMS TO ACCOMMODATE EXISTING EXTERIOR WALL IMPROVEMENT. WINDOW TRIMS TO BE REFINISHED AND REUSED WHERE POSSIBLE.
M	REMOVE EXISTING ROOF. PATCH AND REPAIR ROOF ASSEMBLY THAT REMAIN.
N	REMOVE PART OF EXISTING WALL TO CREATE AN OPENING.
O	REMOVE EXISTING DOOR AND FRAME. DOOR AND TRIMS TO BE REFINISHED AND REUSED.
P	REMOVE EXISTING INTERIOR FINISH. PATCH AND REPAIR EXISTING STUDS. BASEBOARD TO BE REFINISHED AND REUSED WHERE POSSIBLE. TYPICAL FOR ALL EXISTING INTERIOR WALLS THAT REMAIN.

project architect

seal

consultant

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client

**BOWSTRINGS
FOUNDATION**

project

**RUTHERFORD
RESIDENCE**

drawing title

**PROPOSED 2ND FLOOR
PLAN**

sheet

A206

drawn

Author

scale

1/4" = 1'-0"

checked

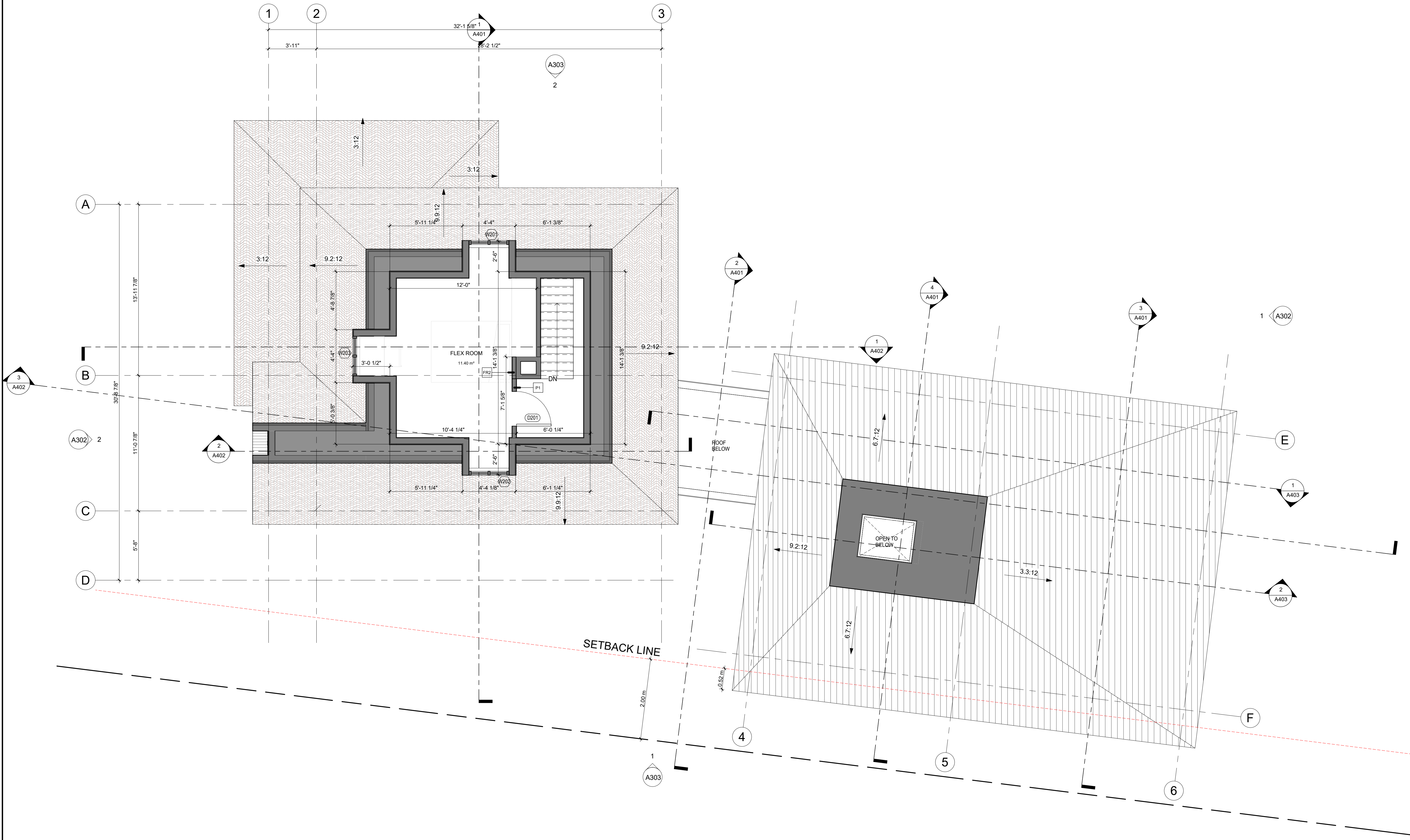
Checker

project no.

21011

12/06/2022 2:07:21 PM

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1 PROPOSED 2ND FLOOR PLAN
A206/A301 1/4" = 1'-0"

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client

**BOWSTRINGS
FOUNDATION**

project

**RUTHERFORD
RESIDENCE**

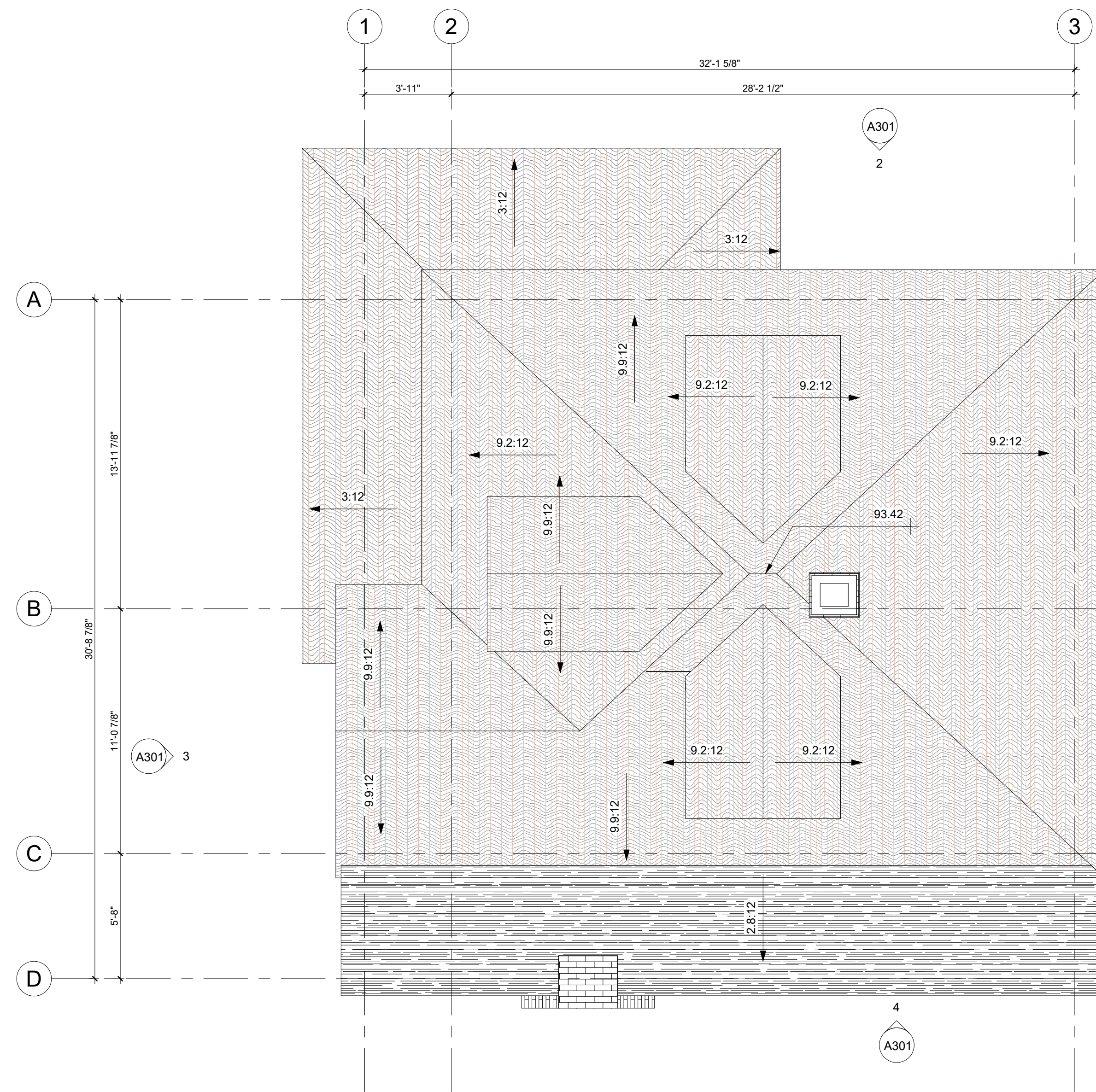
drawing title

**EXISTING AND DEMOLITION
ROOF PLAN**

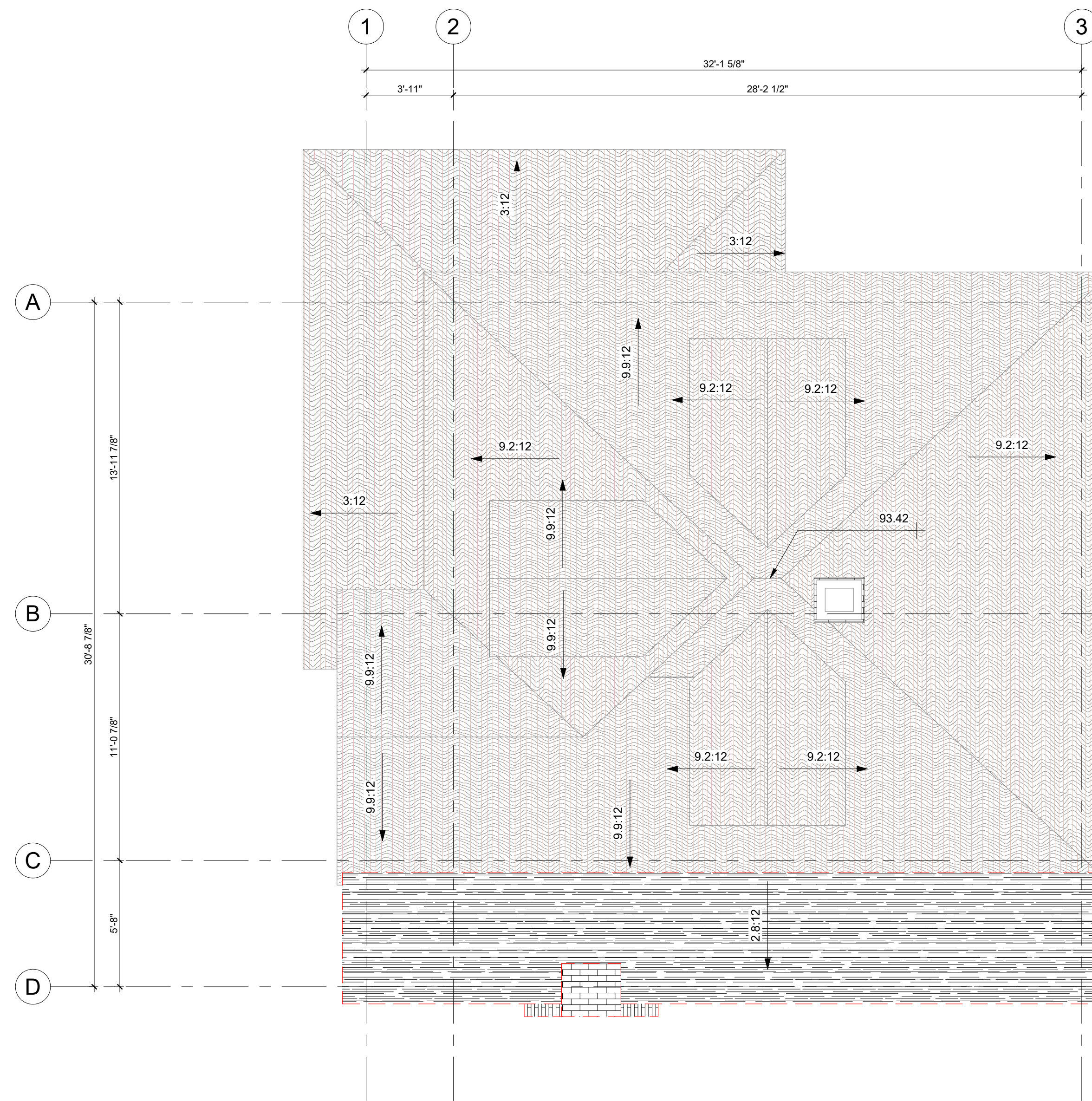
sheet

A207

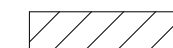

drawn	Author	scale	As indicated
checked	Checker	project no.	21011



1 EXISTING ROOF PLAN
A207/A301 1/4" = 1'-0"



2 ROOF DEMOLITION PLAN
A207/A301 1/4" = 1'-0"

LEGEND
 EXISTING WALLS TO REMAIN
 EXISTING TO BE REMOVED - SEE NOTES

project architect

seal

consultant

permit

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client

BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

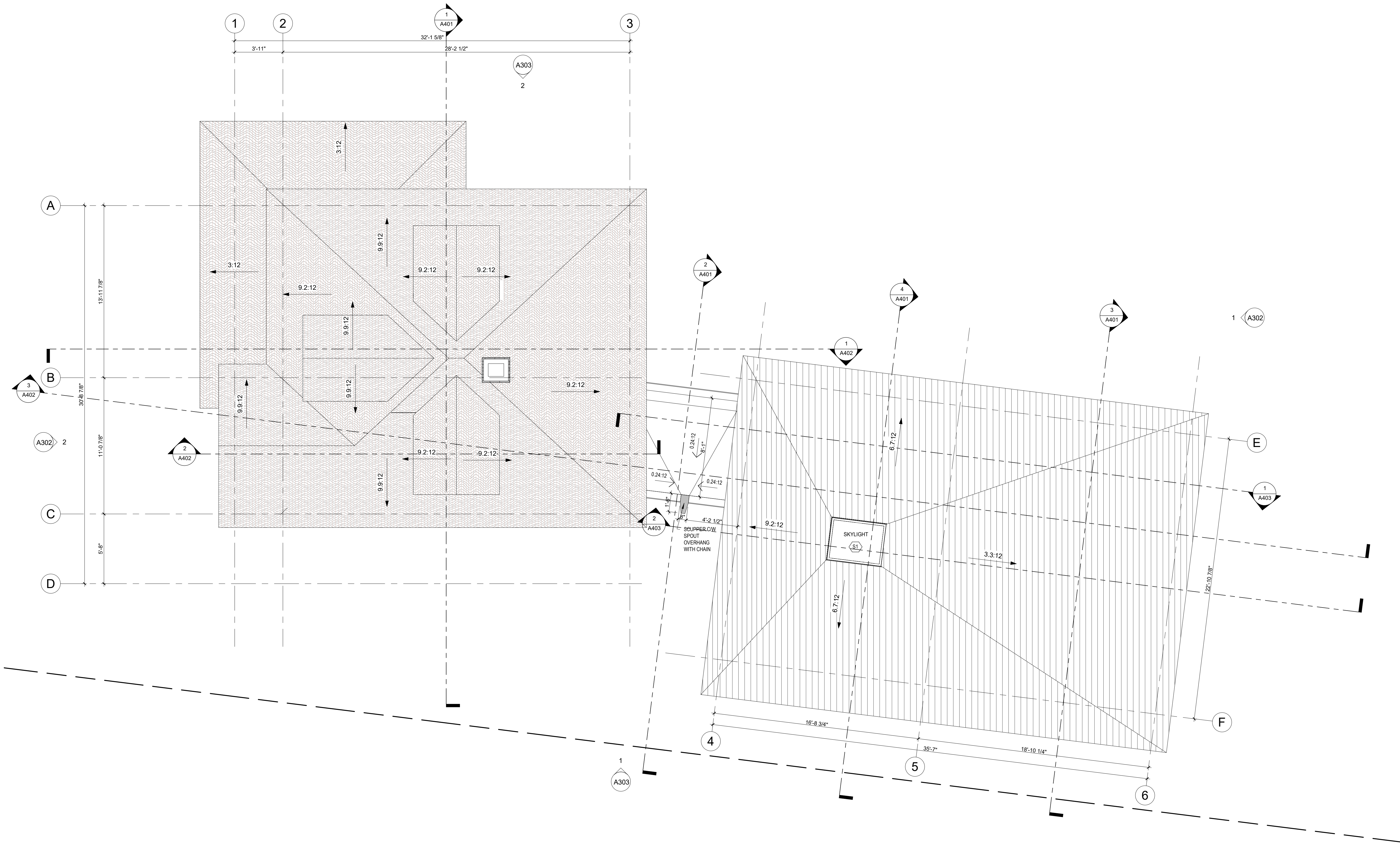
drawing title

PROPOSED ROOF PLAN

sheet

A208

drawn	Author	scale	1/4" = 1'-0"
checked	Checker	project no.	21011



1 PROPOSED ROOF PLAN
A208/A301
1/4" = 1'-0"

ADDITION ROOF FORM: THE NEW ROOF FORM WAS DESIGNED TO BE A CONTEMPORARY TAKE ON THE RUTHERFORDS PYRAMIDAL ROOF. TO MAKE THE RUTHERFORD COTTAGE MORE PRONOUNCED FROM BUFFALO STREET, THE NEW ADDITION SITS LOWER THAN THE EXISTING HOUSE, AND IT IS DESIGNED WITH AN ASYMMETRICAL SLOPE SO THAT MORE OF THE HISTORIC HOUSE SITS VISIBLE FROM THE STREET. LASTLY, THE NEW ADDITION MIRRORS THE EXISTING HOUSE AT THE NECK, WITH THE SAME 9.2:12 SLOPE TO MIRROR THE HISTORIC FORM.

project architect

seal

consultant

permit

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client

**BOWSTRINGS
FOUNDATION**

project

**RUTHERFORD
RESIDENCE**

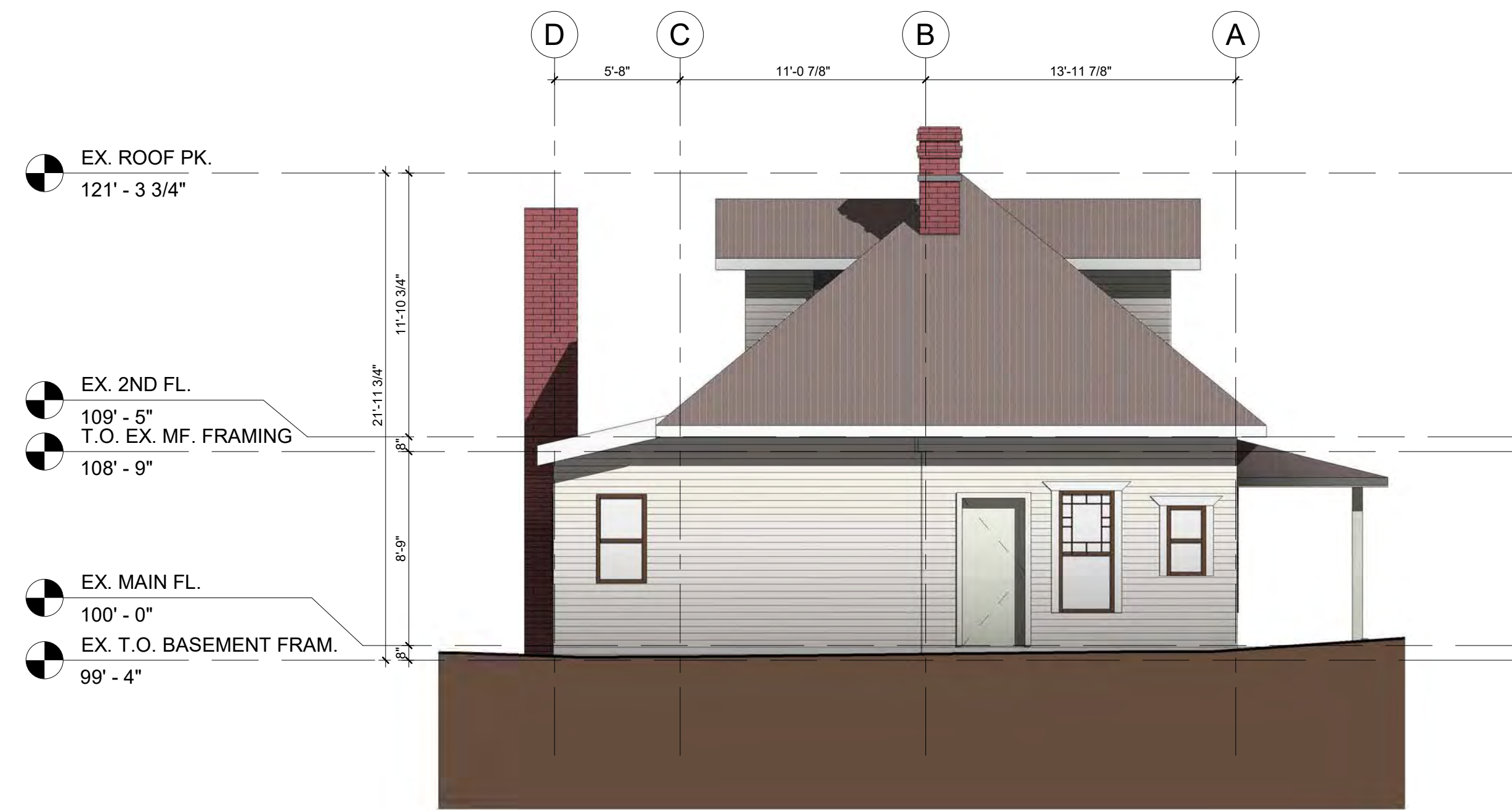
drawing title

EXISTING ELEVATIONS

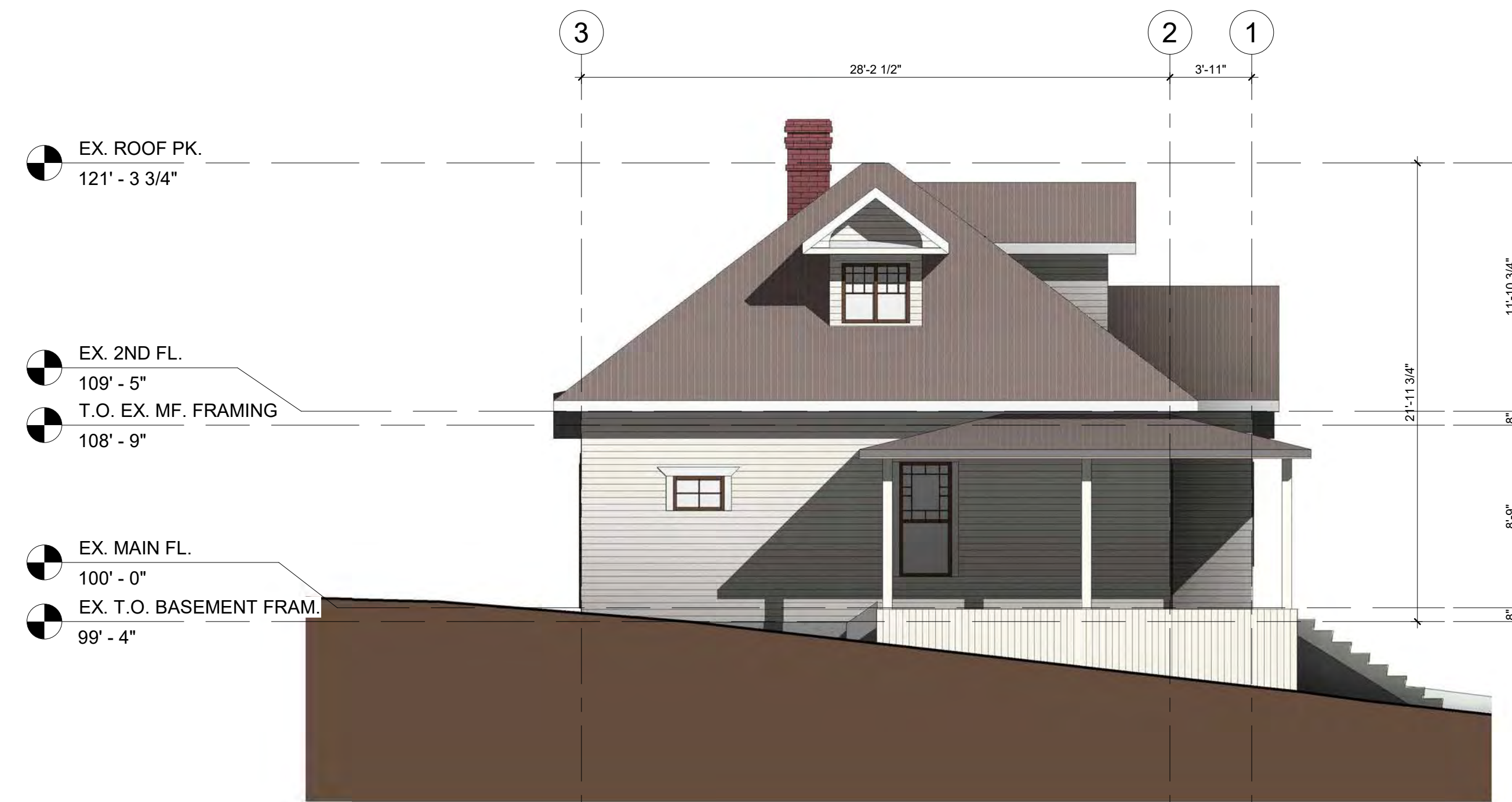
sheet

A301

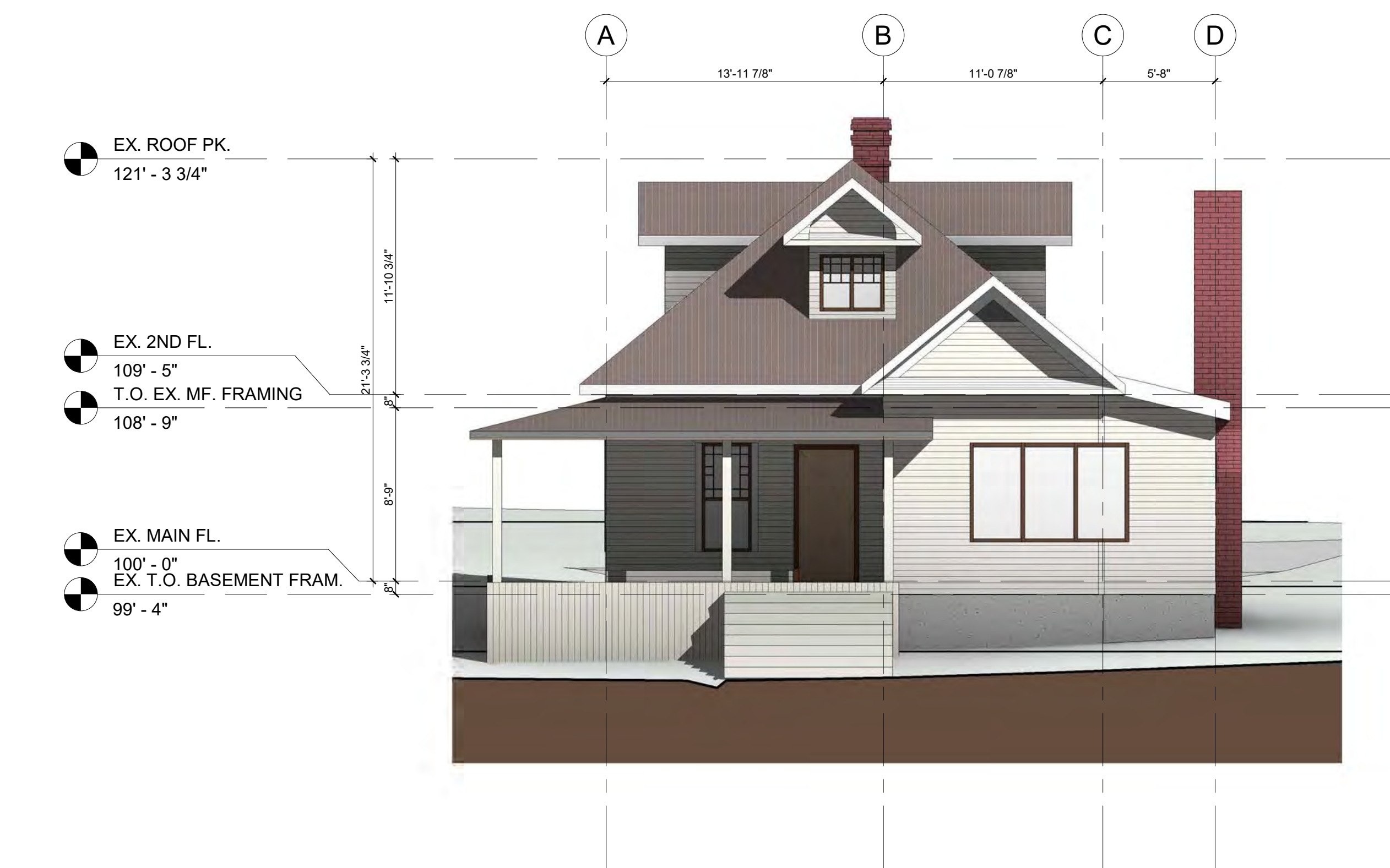
drawn	Author	scale	3/16" = 1'-0"
checked	Checker	project no.	21011



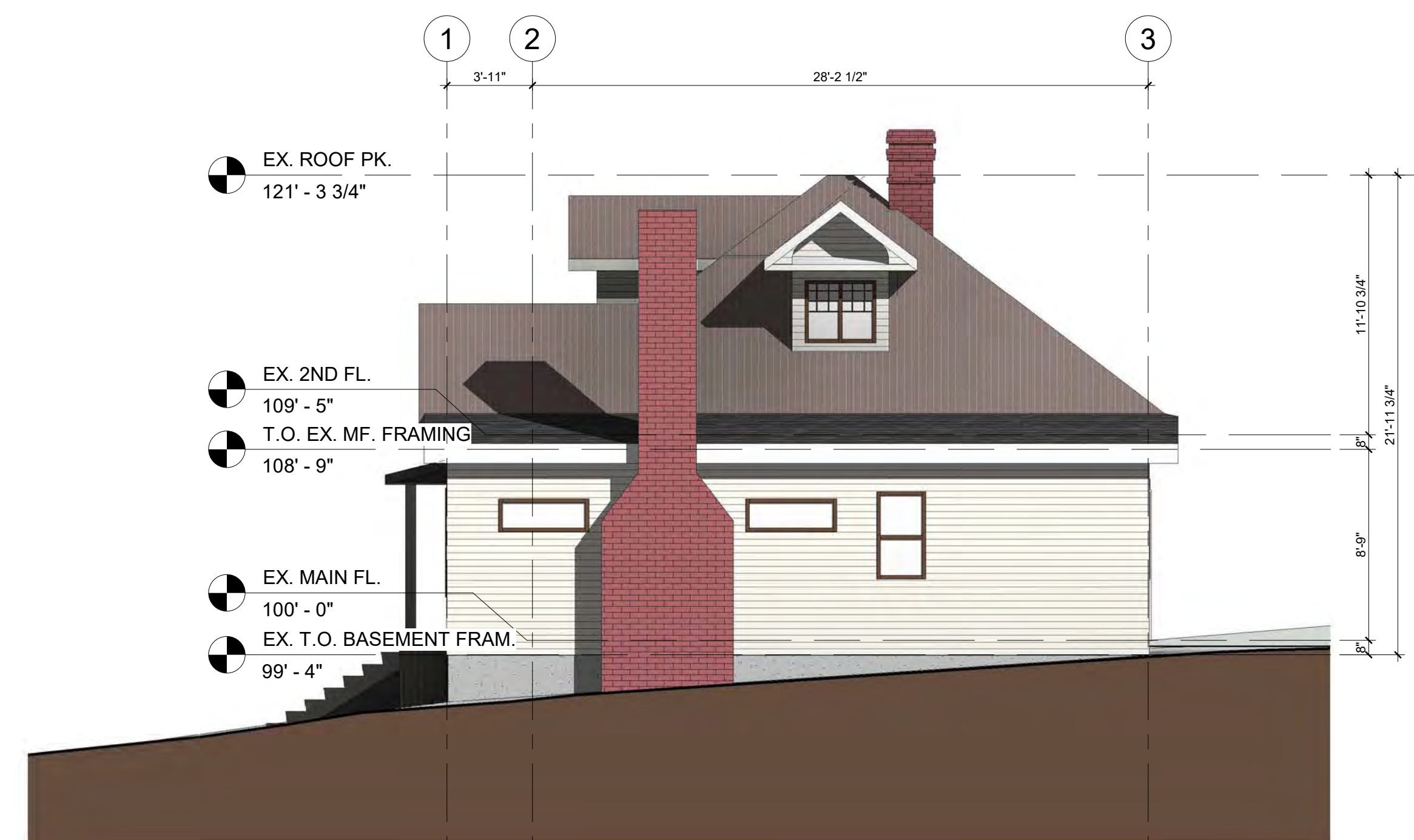
1 EXISTING EAST ELEVATION
A301 3/16" = 1'-0"



2 EXISTING NORTH ELEVATION
A301/A203 3/16" = 1'-0"



3 EXISTING WEST ELEVATION
A301/A203 3/16" = 1'-0"



4 EXISTING SOUTH ELEVATION
A301/A203 3/16" = 1'-0"

KEY VALUE	KEYNOTE TEXT
2	PAINTED WOOD SIDING HORIZONTAL - WHITE
3	NATURAL COMPOSITE STAINED WOOD SIDING HORIZONTAL CW MITERED CORNER - TREATED IN LIFETIME WOOD TREATMENT
4	ROUGH CUT PINE BOARD SIDING - TREATED IN LIFETIME WOOD TREATMENT
5	STANDING-SEAM METAL ROOF - GREY
6	COMPOSITE/ WOODEN CEDAR SHAKE ROOF
7	PARGING - COLOUR TO MATCH EXTERIOR CONCRETE
8	PREFIN. METAL FLASHING TO MATCH PINE BOARD SIDING
9	PAINTED WOOD FASCIA BOARD - TO MATCH ORIGINAL COLOUR TBC.
10	WINDOWS - TO MATCH ORIGINAL COLOUR TBC.

SHUGARMAN ARCHITECTURE+DESIGN INC

Suite 110, 1900 - 11 Street S.E. Calgary, AB, Canada T2G 3G2
 Telephone: 403-230-0601
 Facsimile: 403-230-0519
 E-mail: info@shugarmanarchitecture.com

project architect

seal

consultant

permit

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client

BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

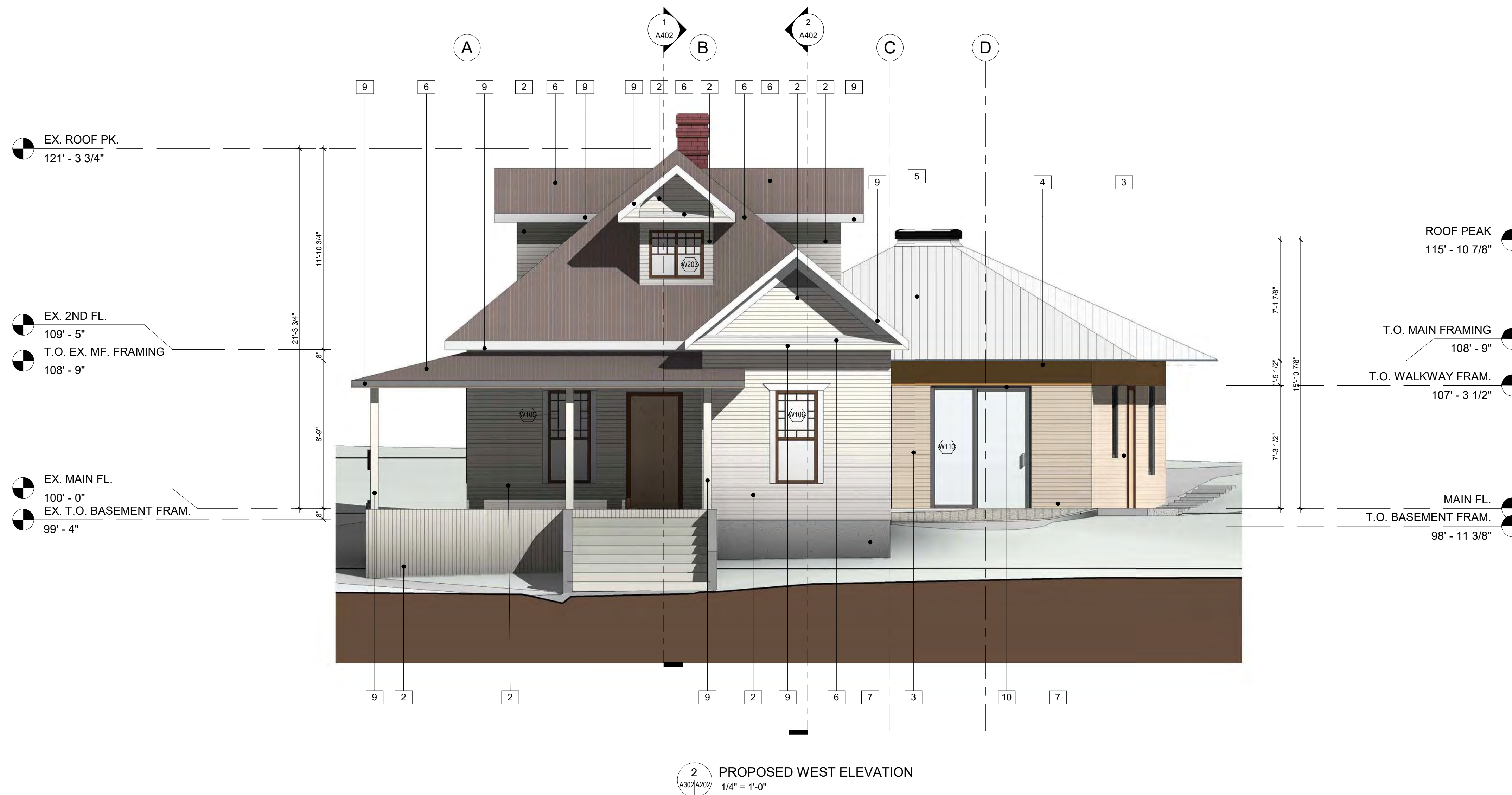
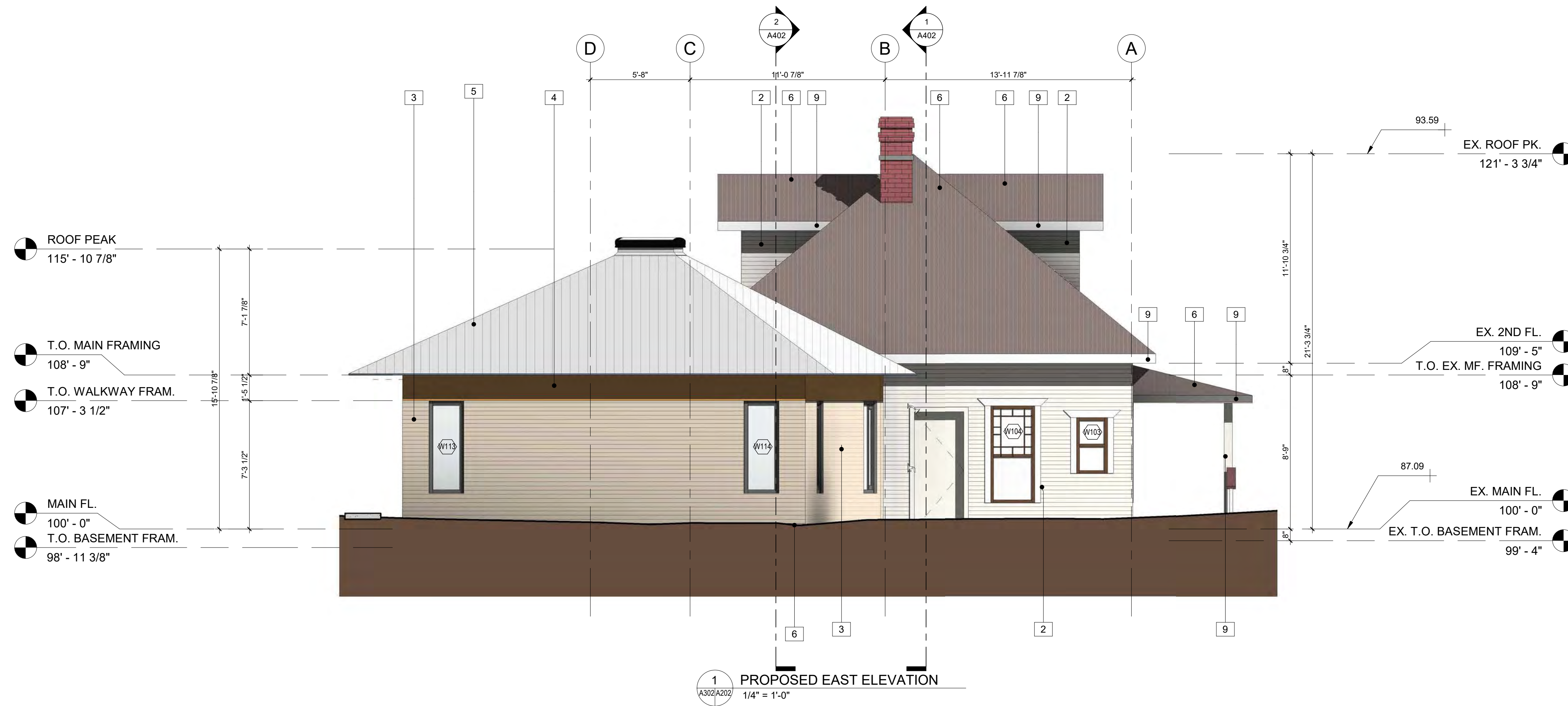
drawing title

PROPOSED ELEVATIONS

sheet

A302

drawn	Author	scale	1/4" = 1'-0"
checked	Checker	project no.	21011



KEY VALUE	KEYNOTE TEXT
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3	NATURAL COMPOSITE STAINED WOOD SIDING HORIZONTAL CW MITERED CORNER - TREATED IN LIFETIME WOOD TREATMENT
4	ROUGH CUT PINE BOARD SIDING - TREATED IN LIFETIME WOOD TREATMENT
5	STANDING-SEAM METAL ROOF - GREY
6	COMPOSITE/ WOODEN CEDAR SHAKE ROOF
7	PAVING - COLOUR TO MATCH EXTERIOR CONCRETE
8	PREFIN. METAL FLASHING TO MATCH PINE BOARD SIDING
9	PAINTED WOOD FASCIA BOARD - TO MATCH ORIGINAL COLOUR TBC.
10	WINDOWS - TO MATCH ORIGINAL COLOUR TBC.

SHUGARMAN ARCHITECTURE+DESIGN INC

Suite 110, 1900 - 11 Street S.E. Calgary, AB, Canada T2G 3G2
 Telephone: 403-230-0601
 Facsimile: 403-230-0519
 E-mail: info@shugarmanarchitecture.com

project architect

seal

consultant

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client

BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

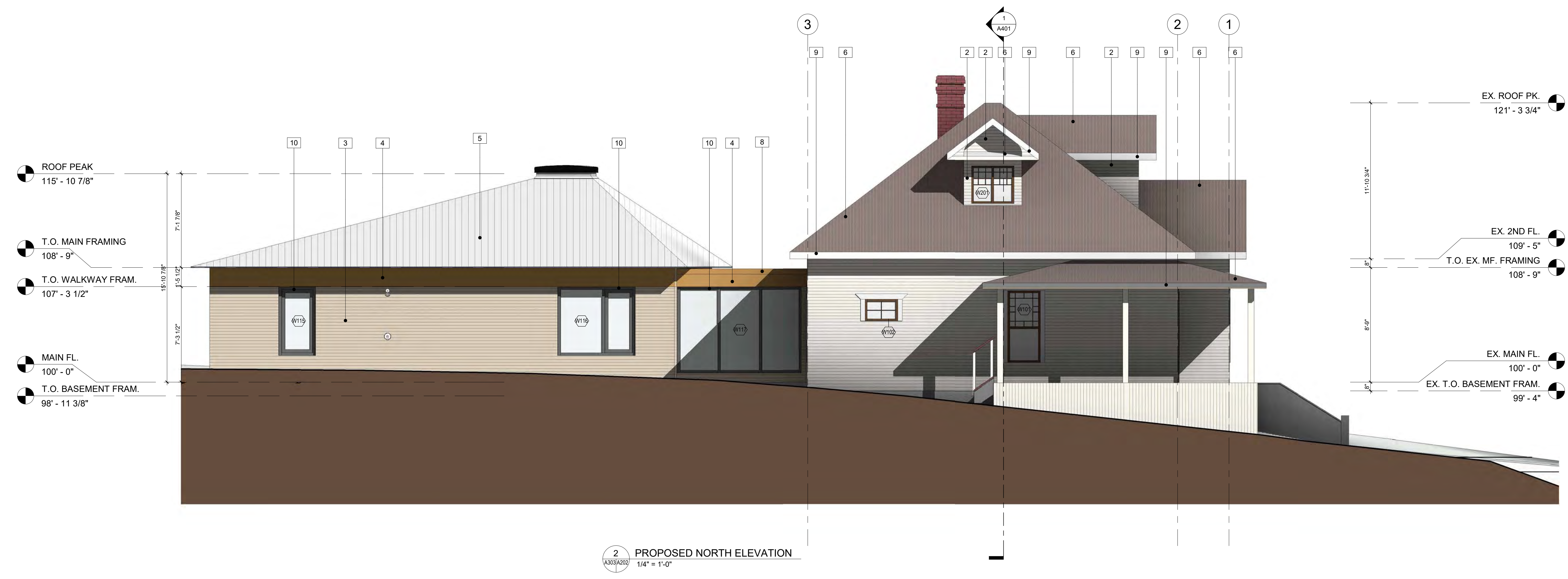
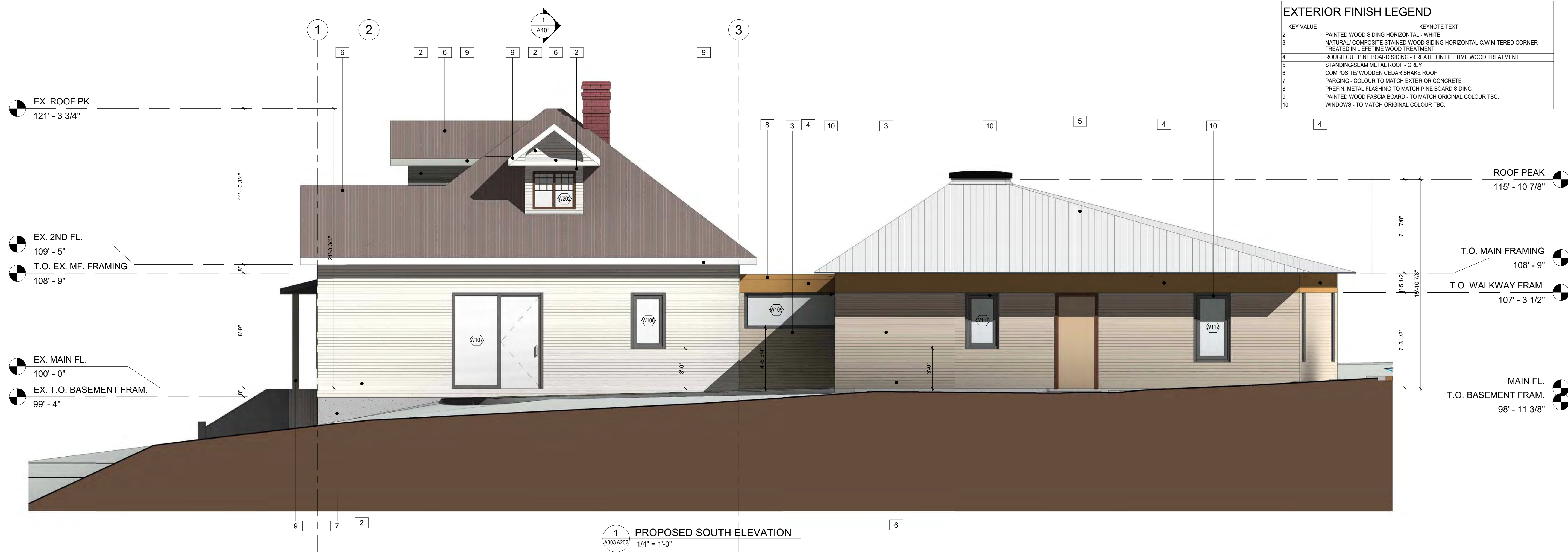
drawing title

PROPOSED ELEVATIONS

sheet

A303

drawn	Author	scale	1/4" = 1'-0"
checked	Checker	project no.	21011

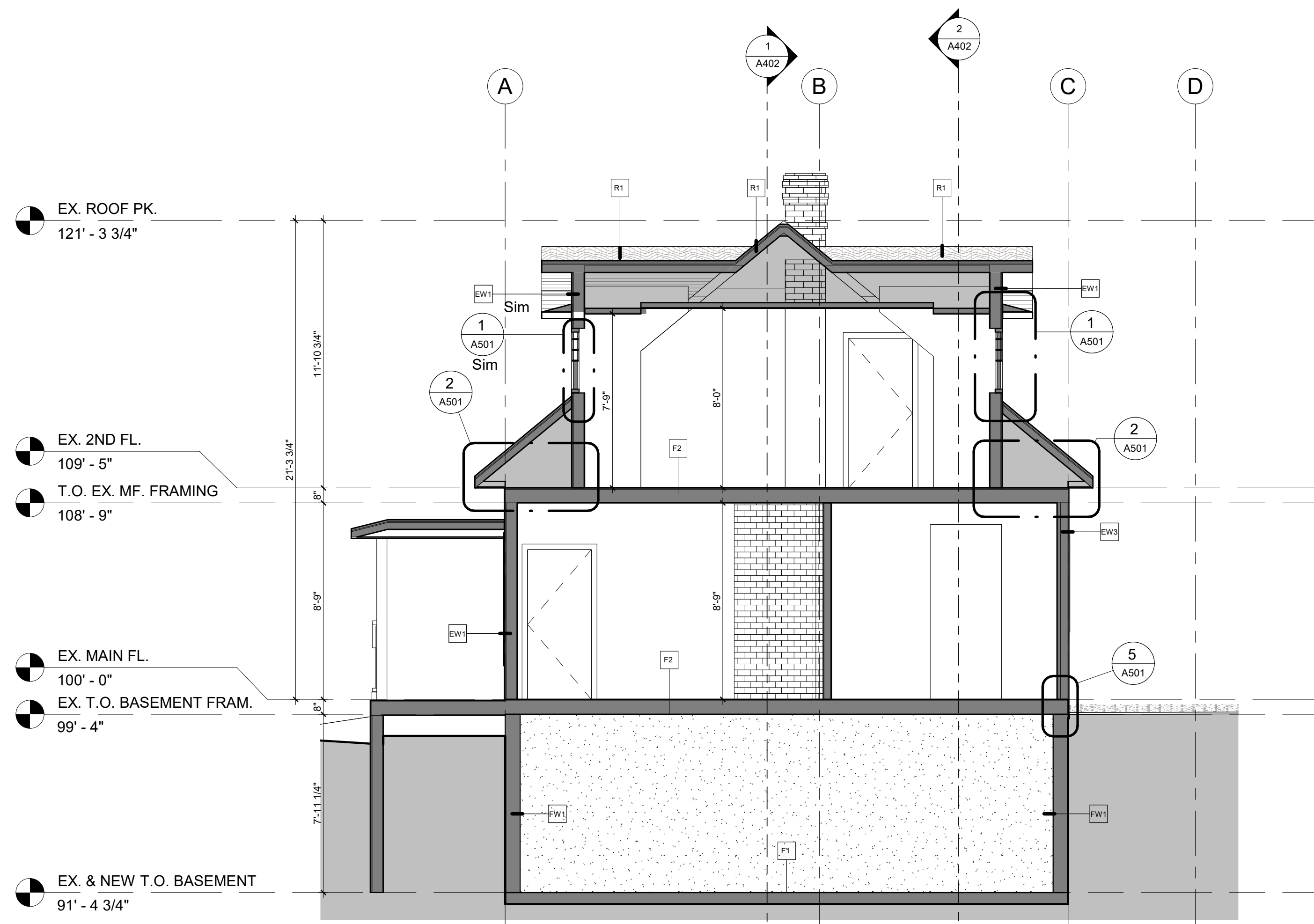


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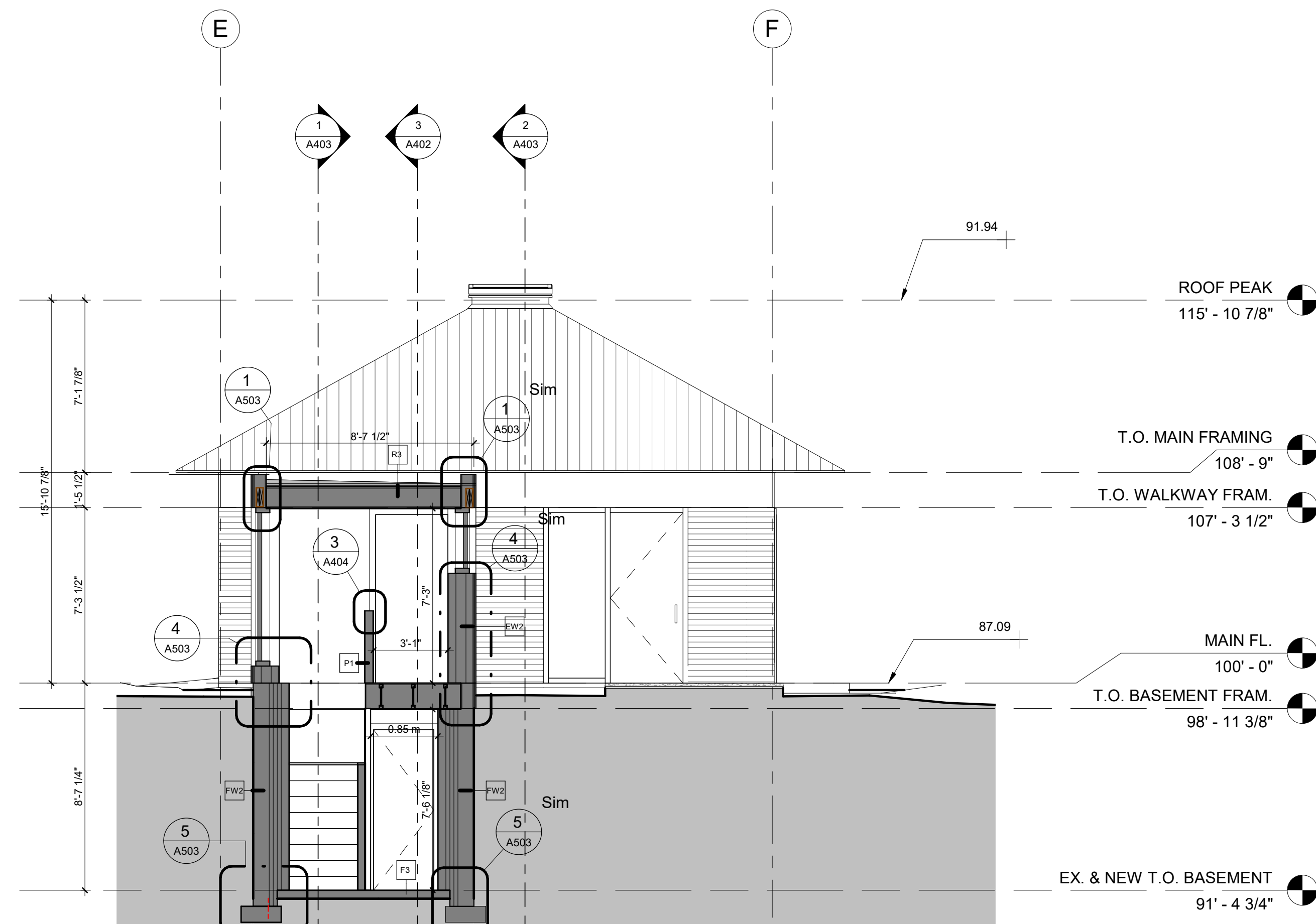
BM 300 (R) Rutherford Cottage 220303-Rutherford Residence.rvt

NOT FOR CONSTRUCTION

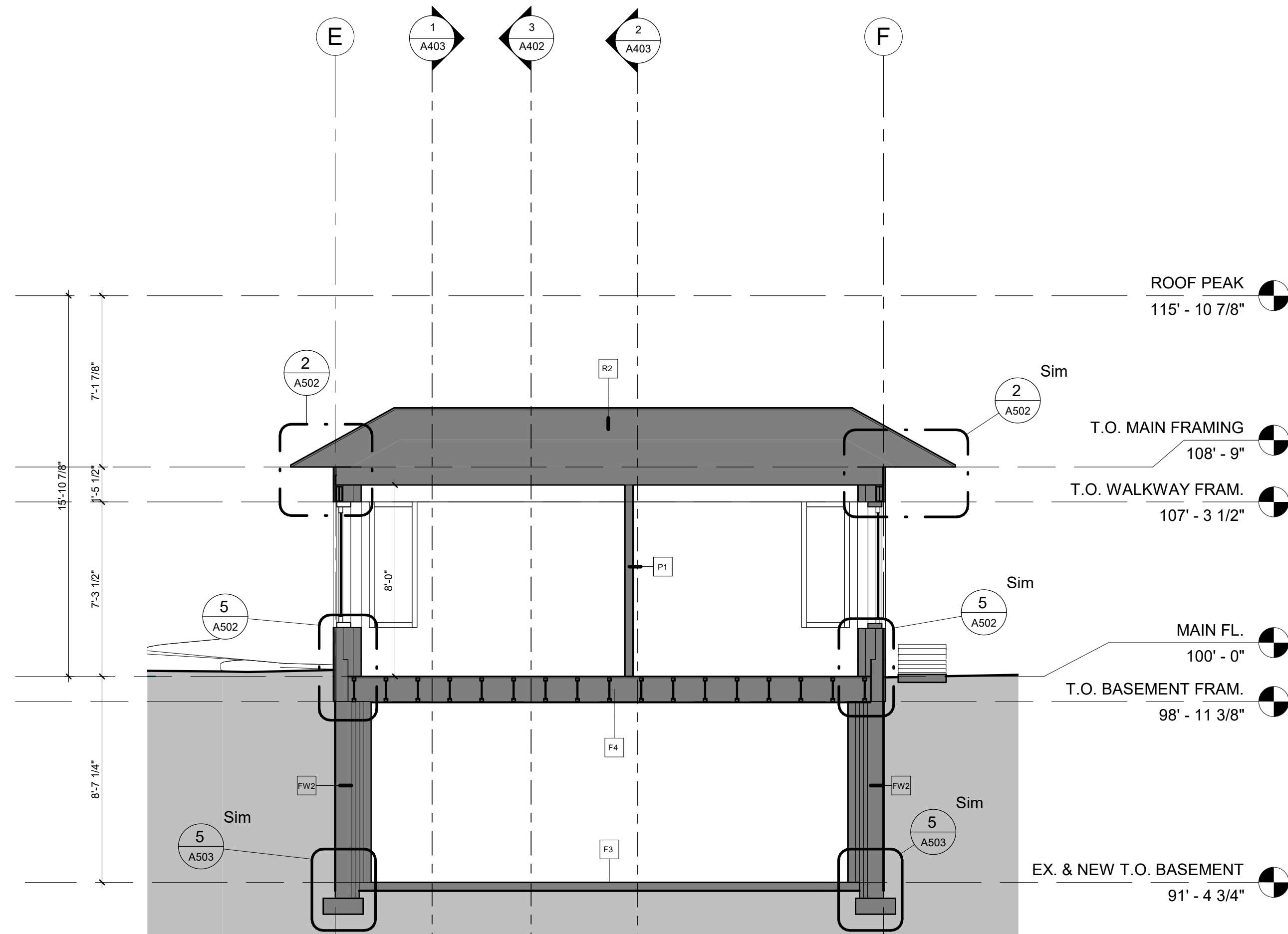
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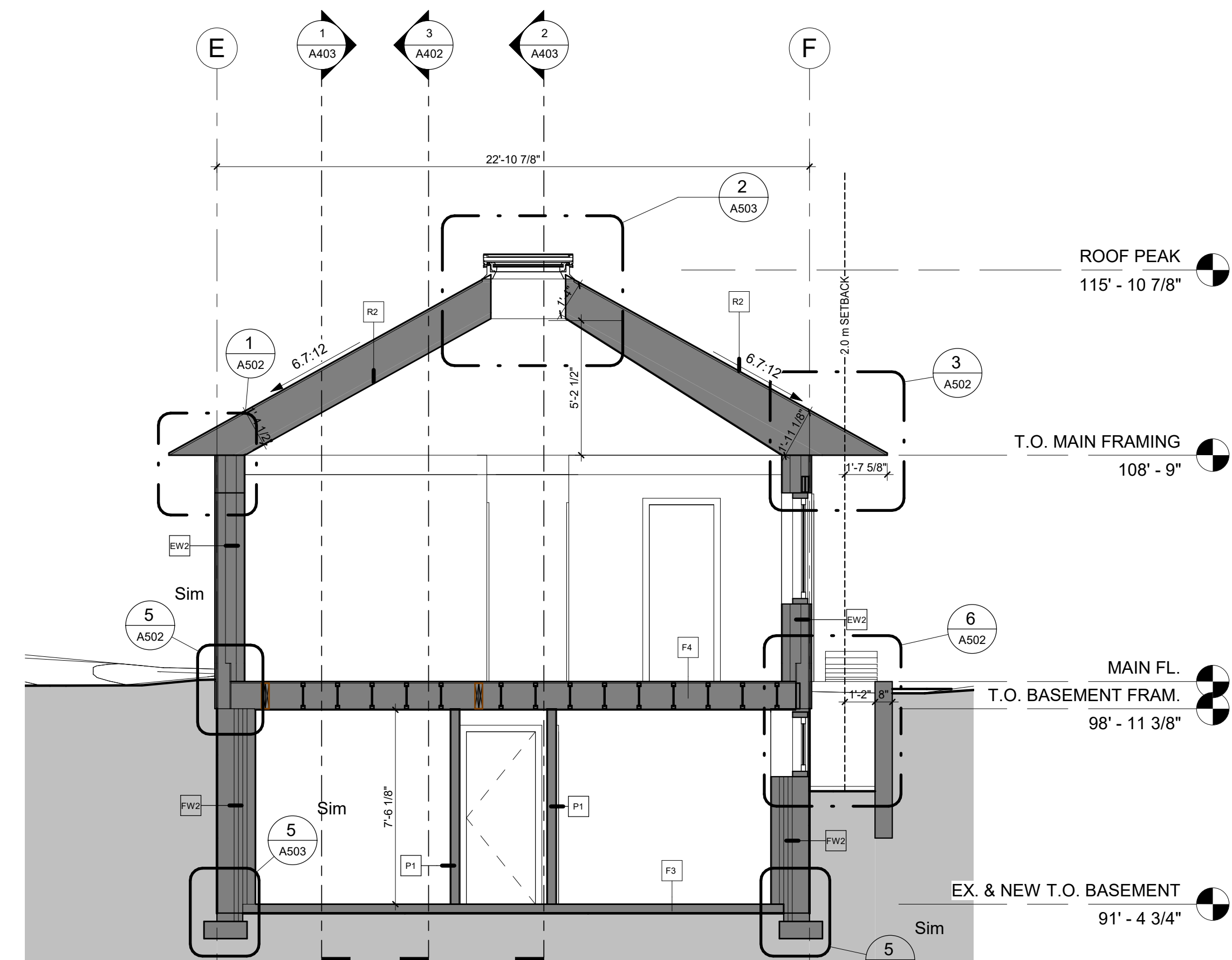
1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"



3 BUILDING SECTION
1/4" = 1'-0"



4 Section 7
1/4" = 1'-0"

project architect

seal

consultant

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client

**BOWSTRINGS
FOUNDATION**

project

**RUTHERFORD
RESIDENCE**

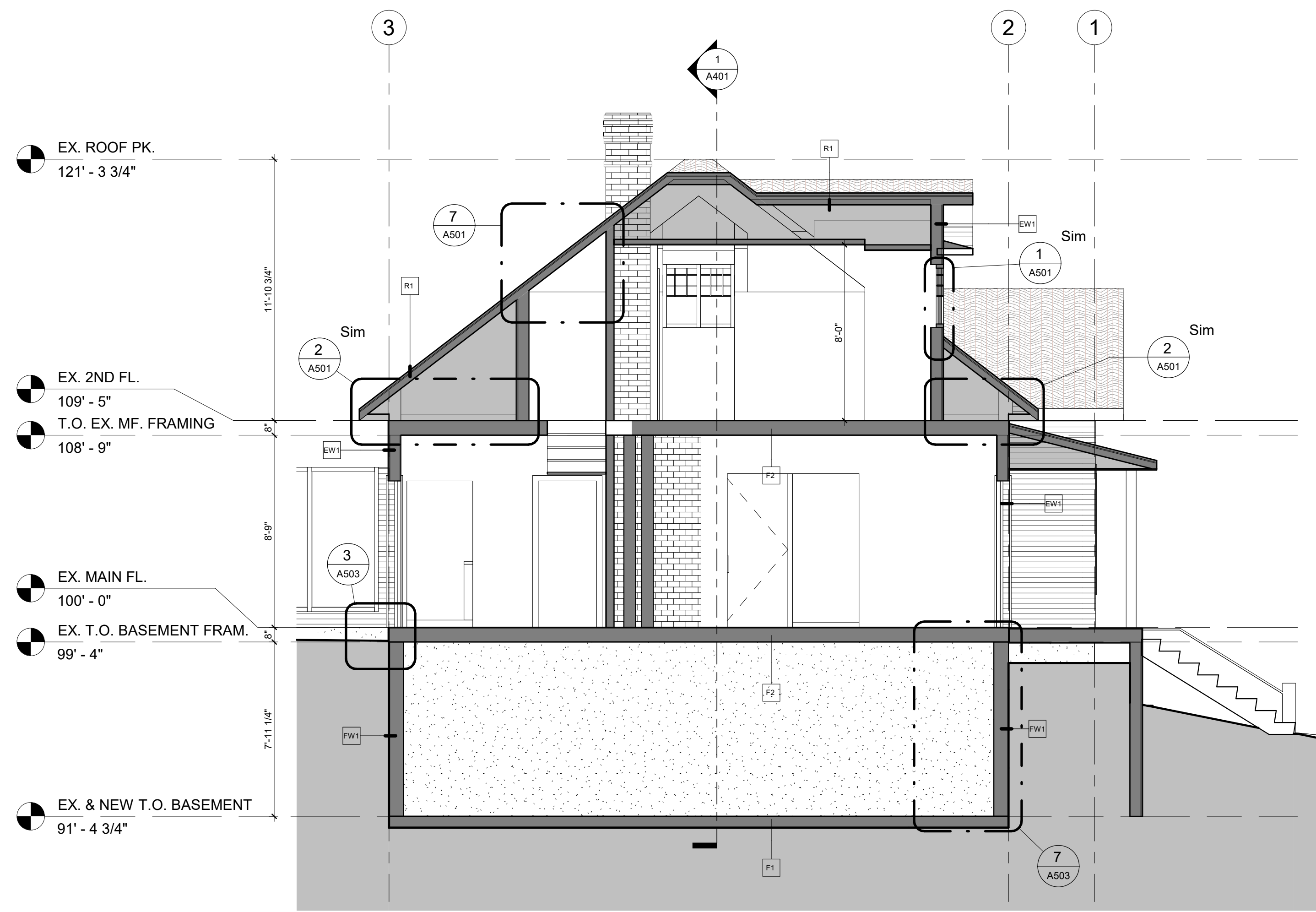
drawing title

BUILDING SECTIONS

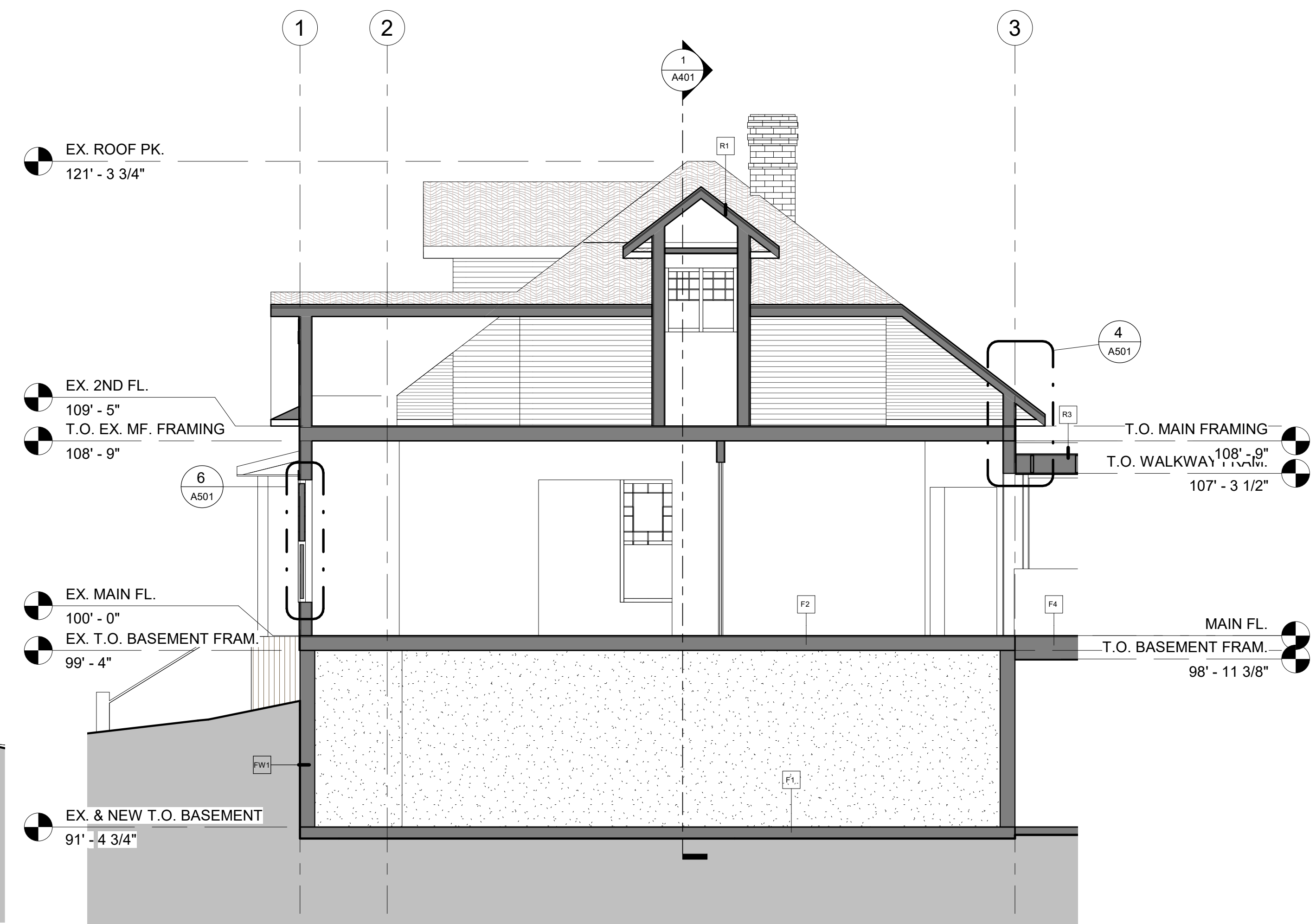
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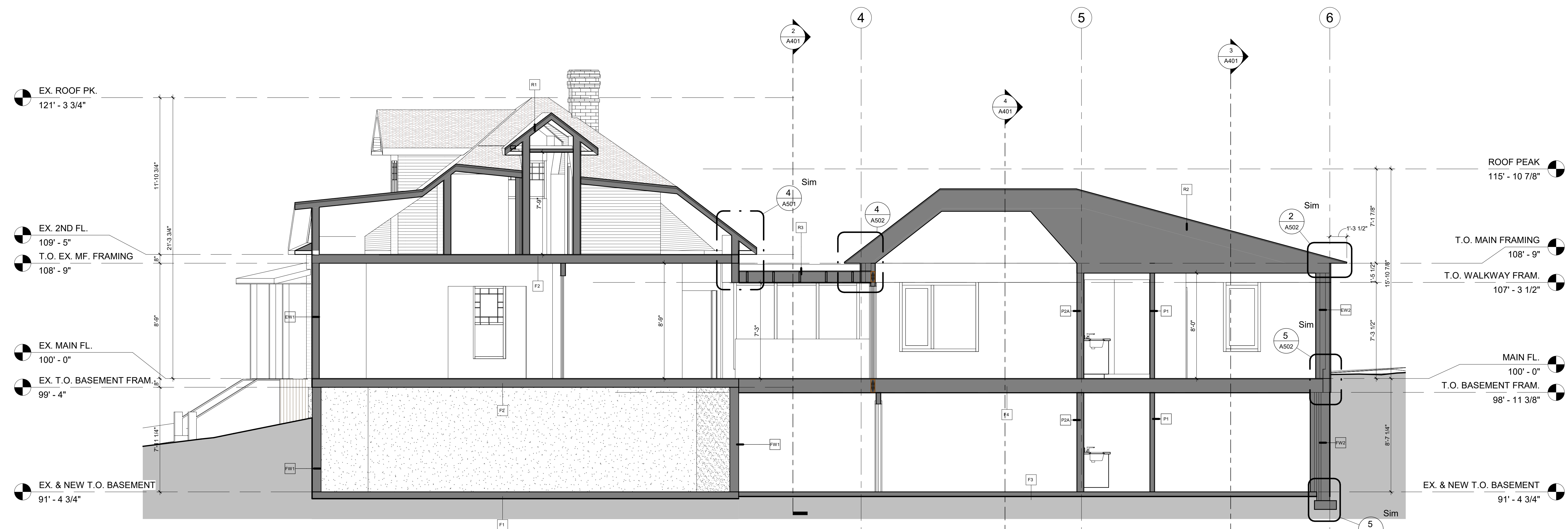
drawn	Author	scale	1/4" = 1'-0"
checked	Checker	project no.	21011



1 BUILDING SECTION
A402/A202 1/4" = 1'-0"



2 BUILDING SECTION
A402/A202 1/4" = 1'-0"



3 BUILDING SECTION
A402/A202 1/4" = 1'-0"

12/06/2022 2:07:51 PM

BM 350 (Rutherford College) 2020-2023 Rutherford Residence A1

project architect

seal

consultant

permit

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client

BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

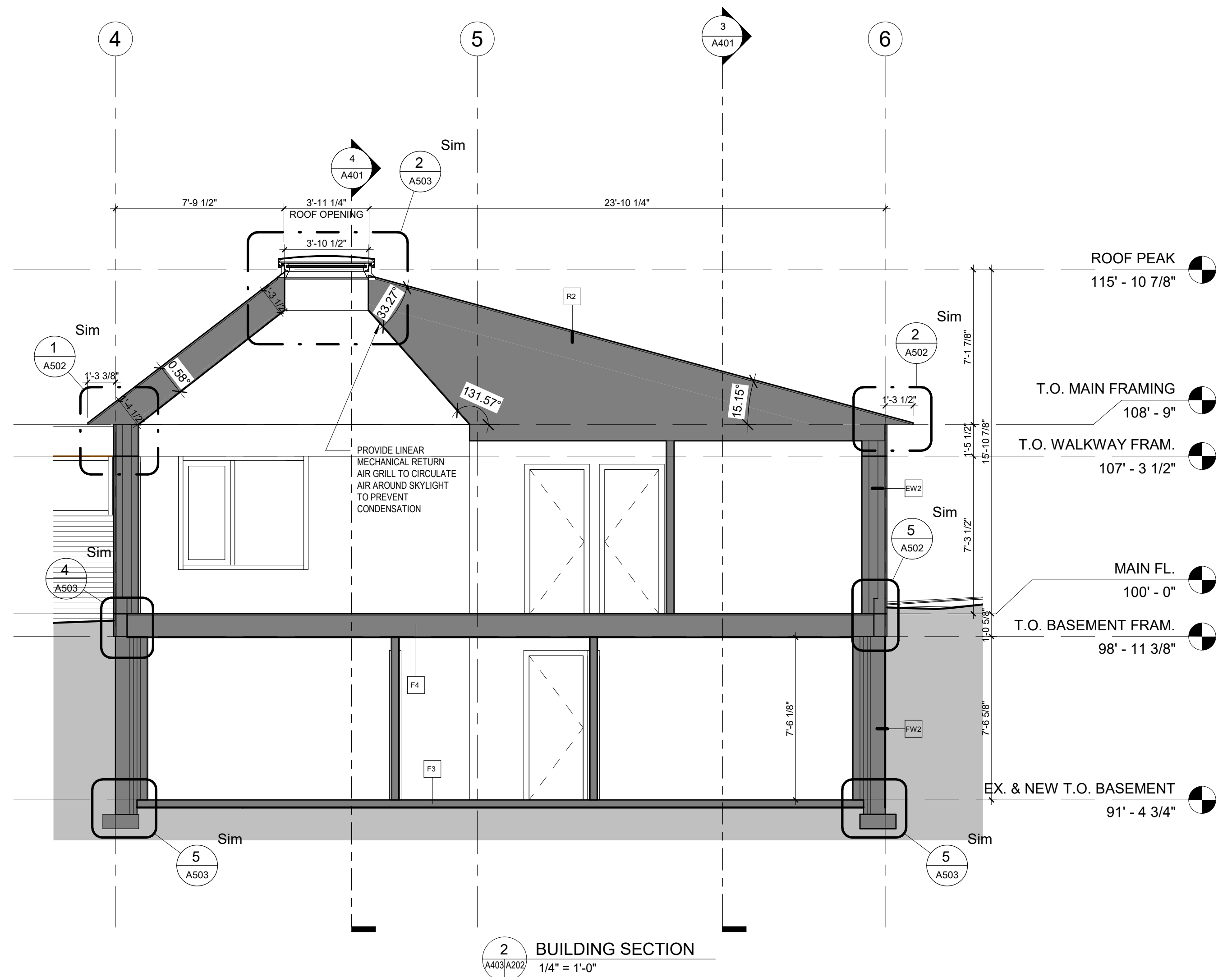
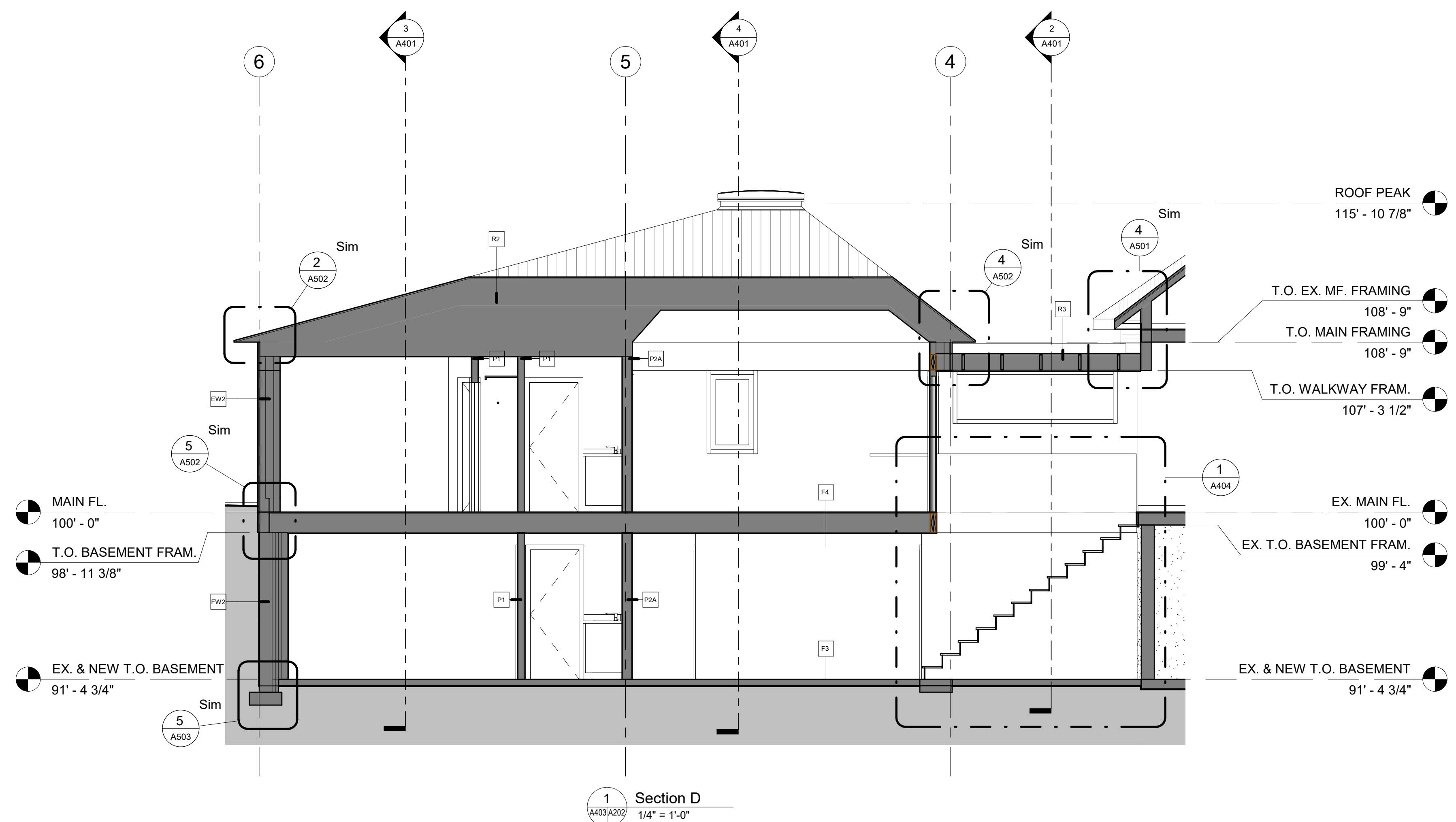
drawing title

BUILDING SECTIONS

sheet

A403

drawn	Author	scale	1/4" = 1'-0"
checked	Checker	project no.	21011



12/06/2022 2:07:02 PM

BM 1201 Rutherford College 220303 Rutherford Residence.rvt

project architect

seal

consultant

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client

**BOWSTRINGS
FOUNDATION**

project

**RUTHERFORD
RESIDENCE**

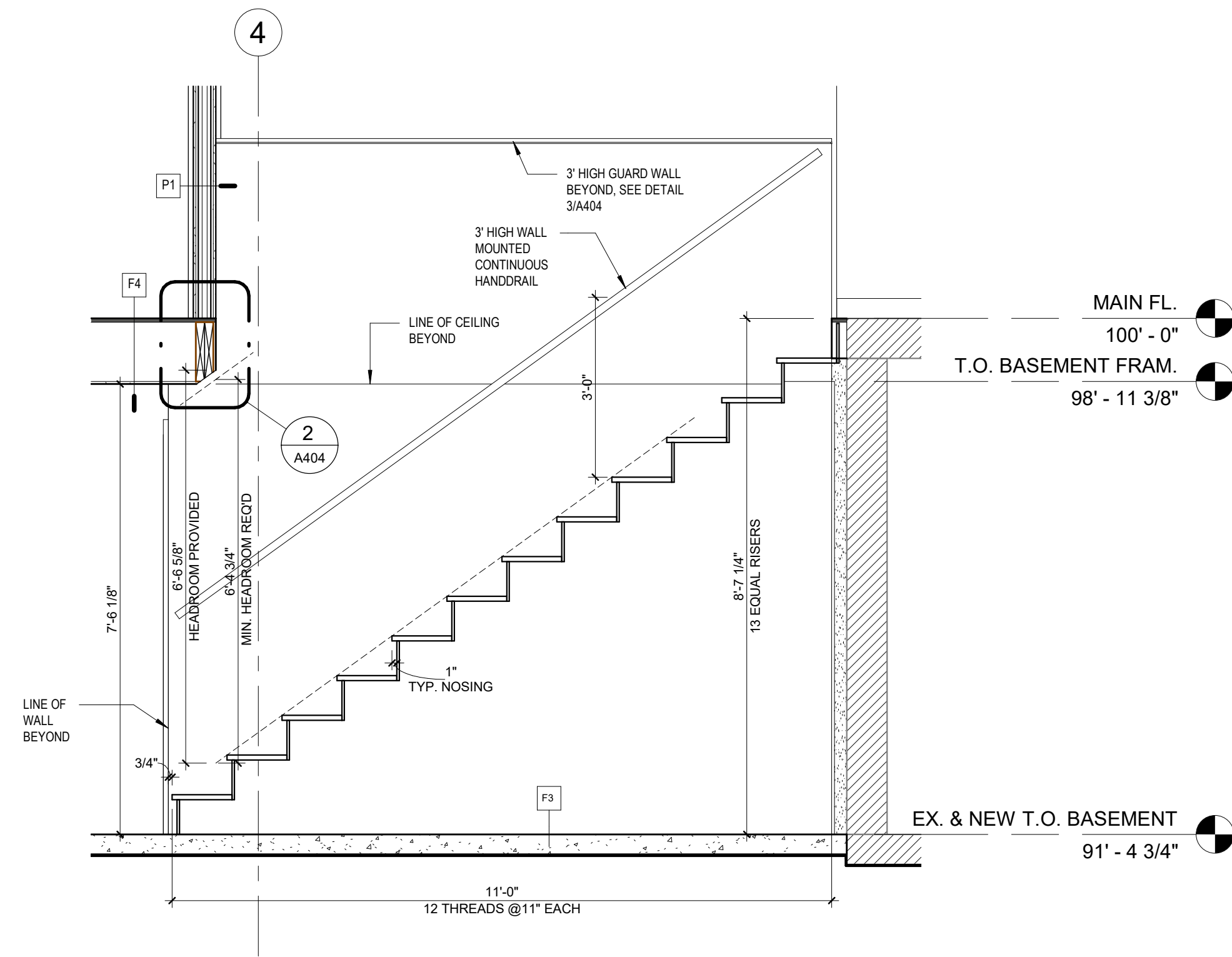
drawing title

**STAIR SECTIONS AND
DETAILS**

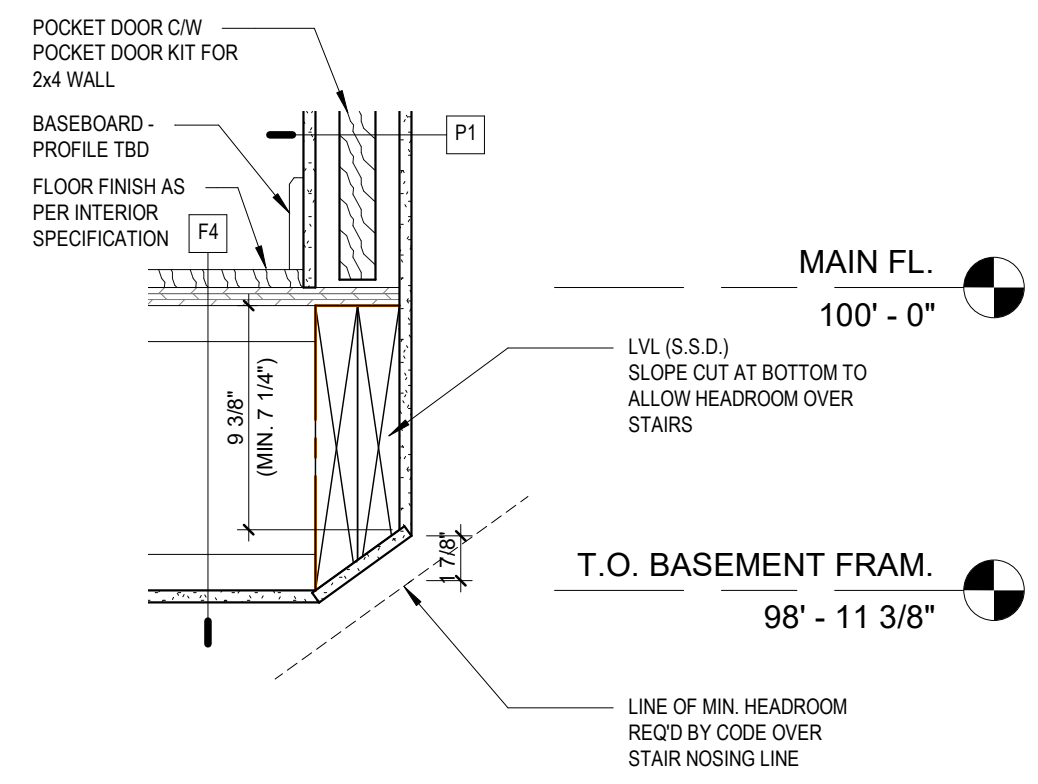
sheet

A404

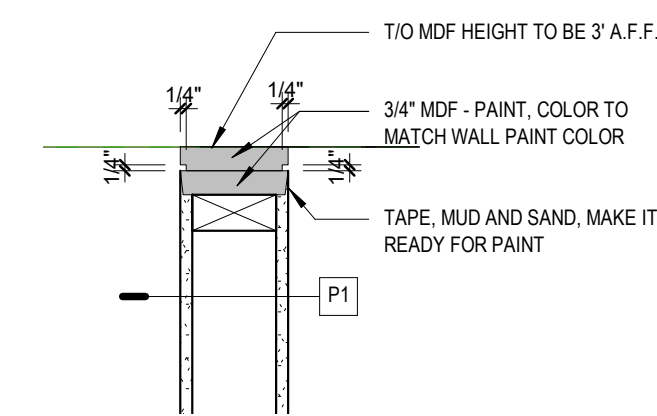
drawn	Author	scale	As indicated
checked	Checker	project no.	21011



1 STAIR SECTION
A404/A403 1/2" = 1'-0"



2 SECTION DETAIL
A404/A404 1 1/2" = 1'-0"



3 SECTION DETAIL
A404/A401 1 1/2" = 1'-0"

project architect

seal

consultant

permit

no.	rev./ issued for	date

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client

BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

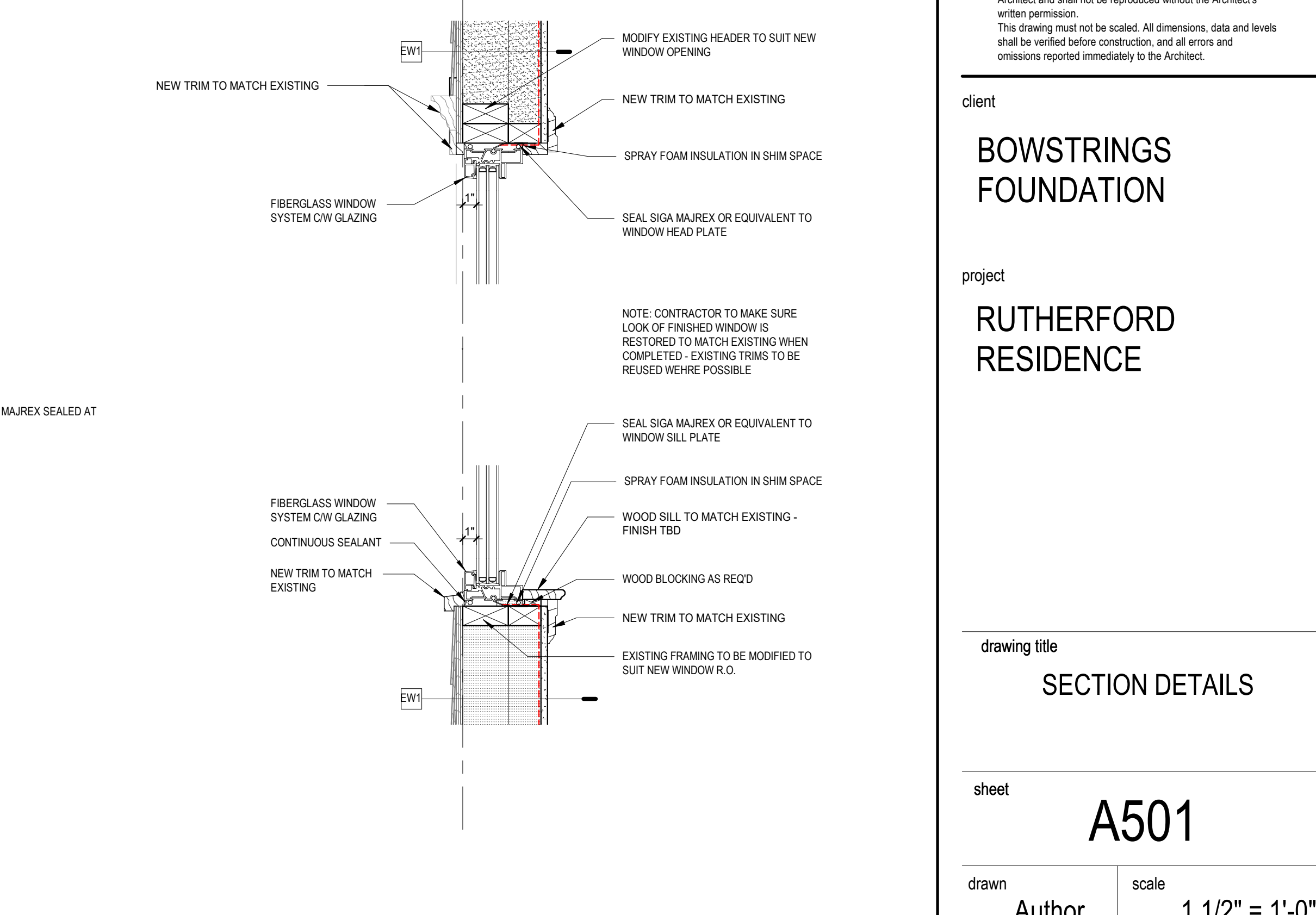
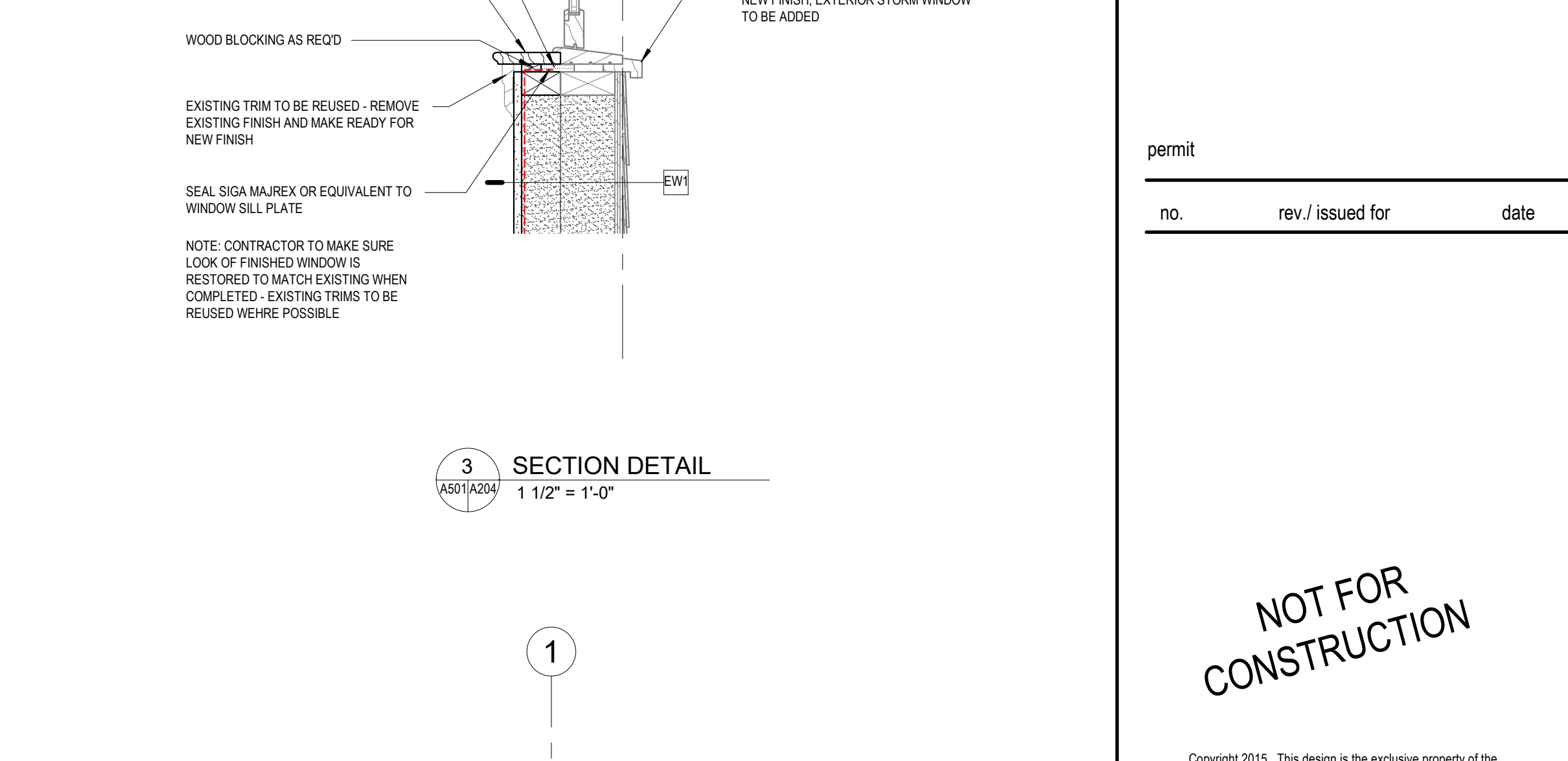
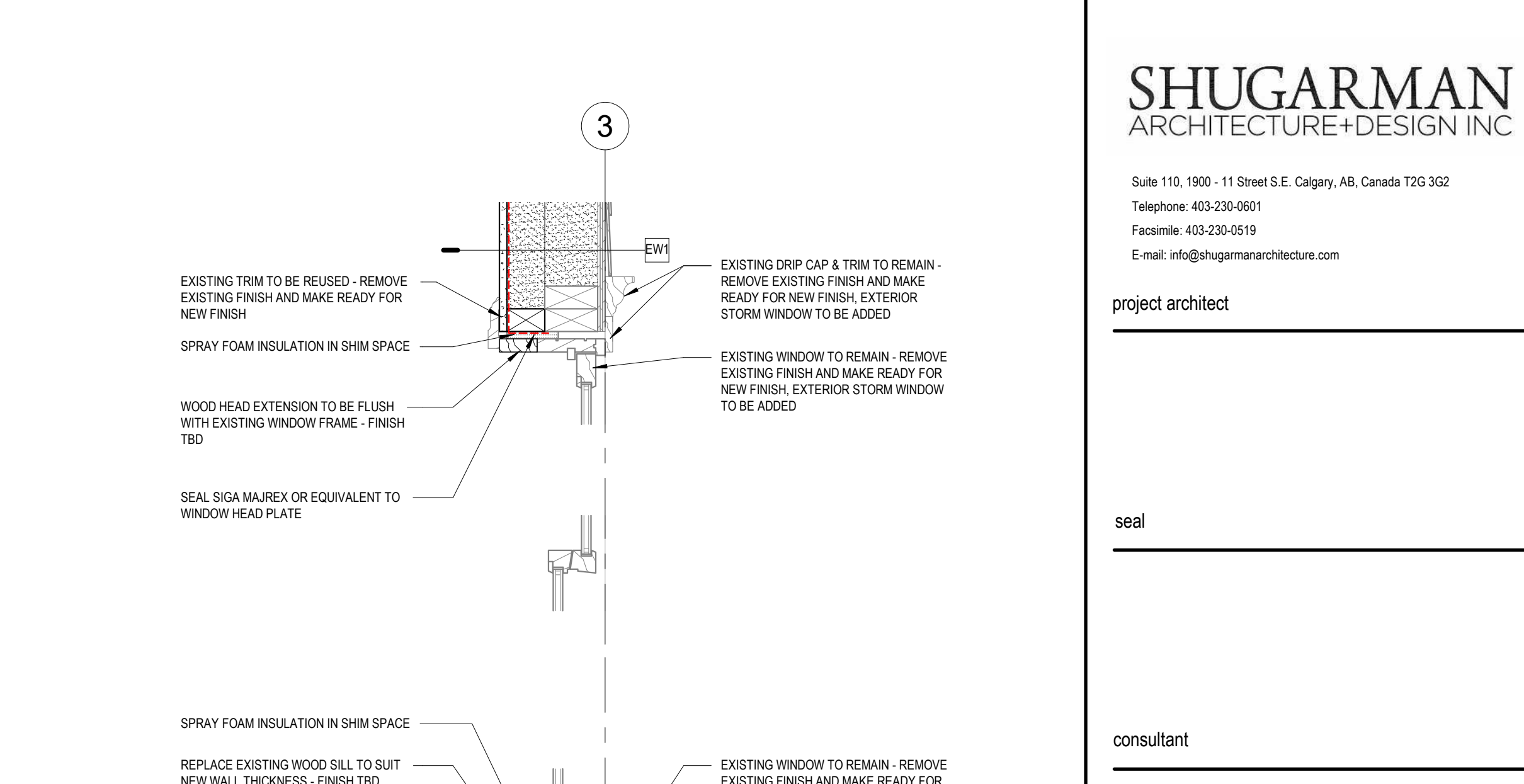
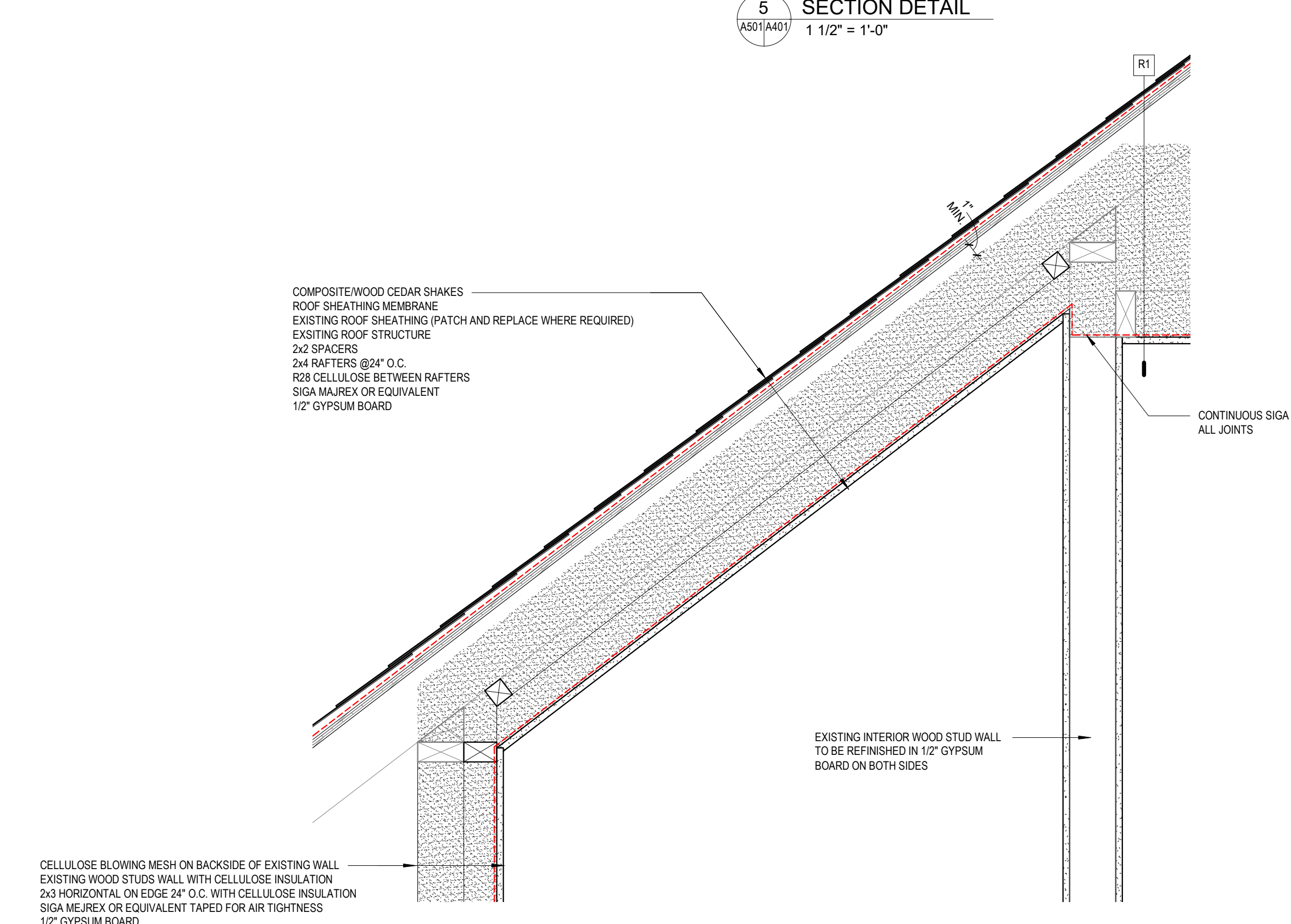
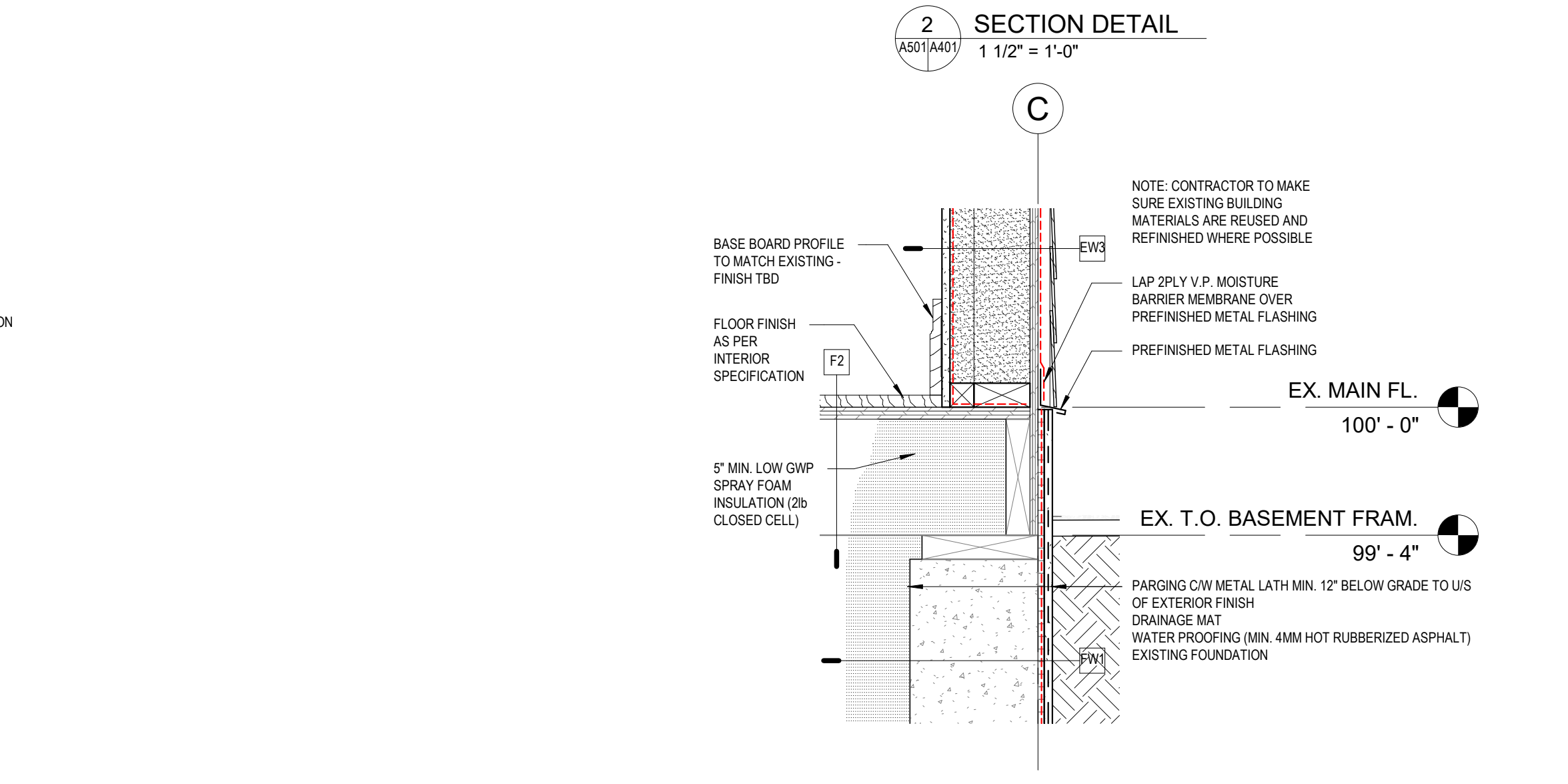
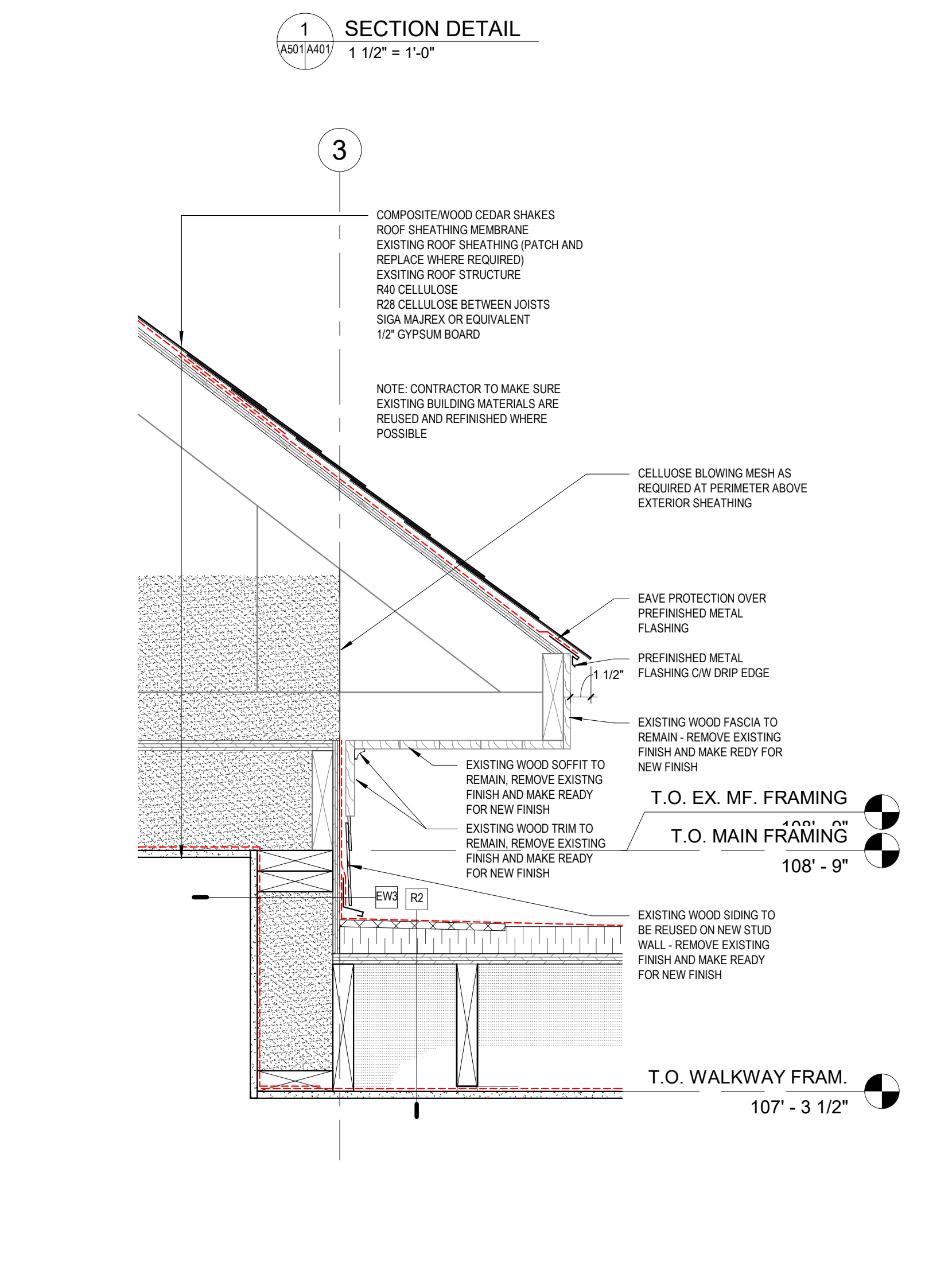
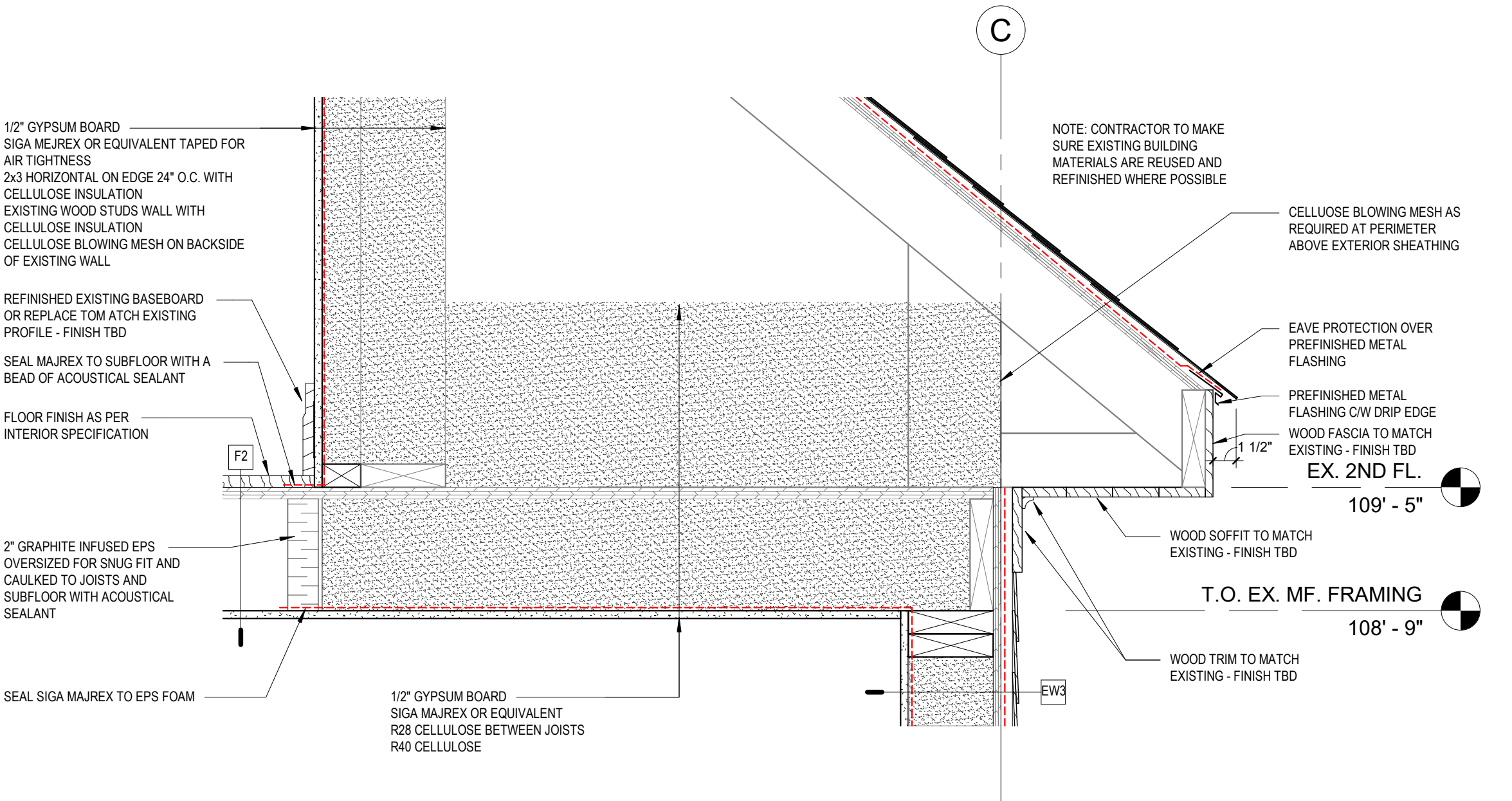
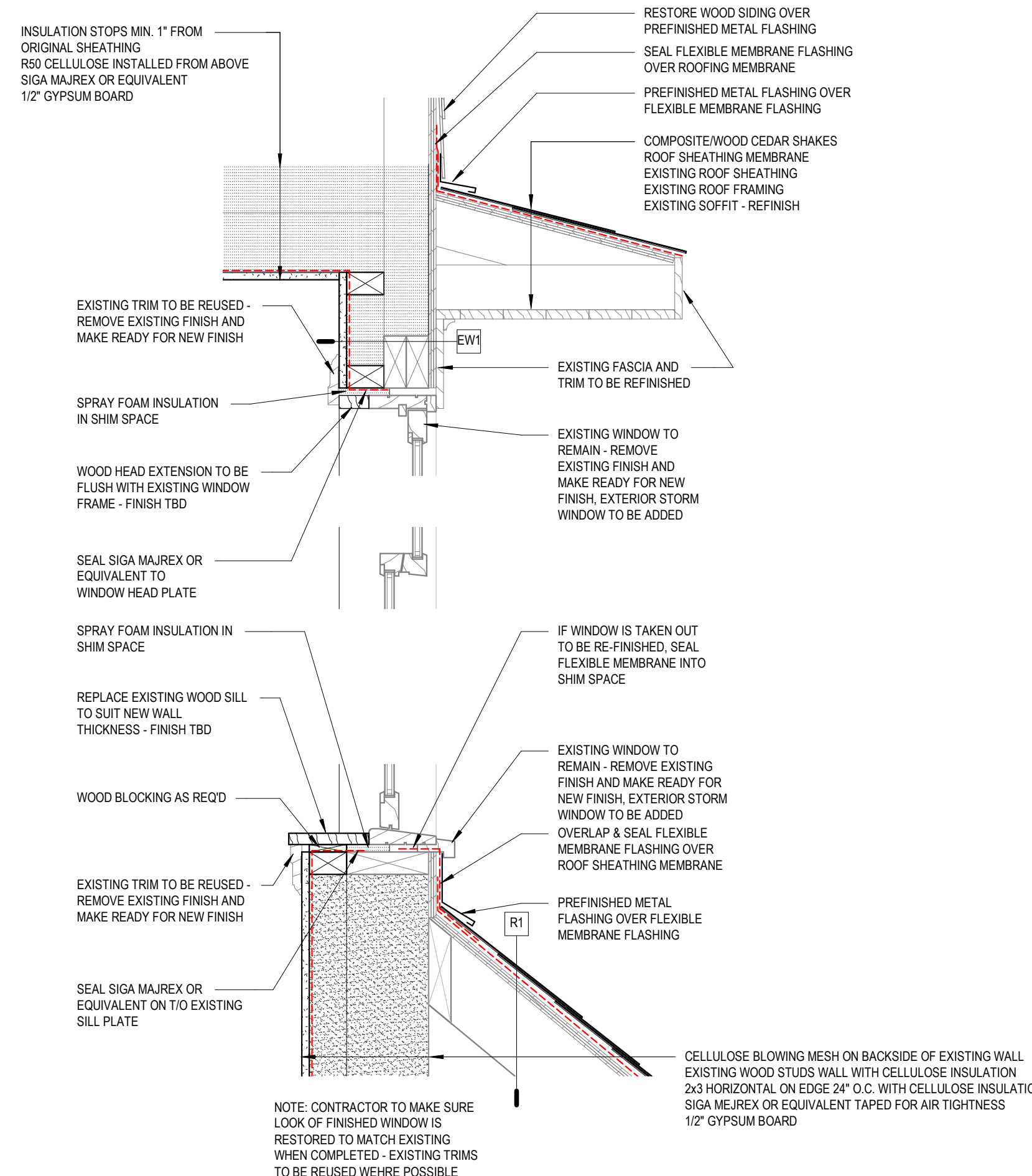
drawing title

SECTION DETAILS

sheet

A501

drawn	Author	scale	1 1/2" = 1'-0"
checked	Checker	project no.	21011



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project architect

seal

consultant

permit

no.	rev./ issued for	date

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client

BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

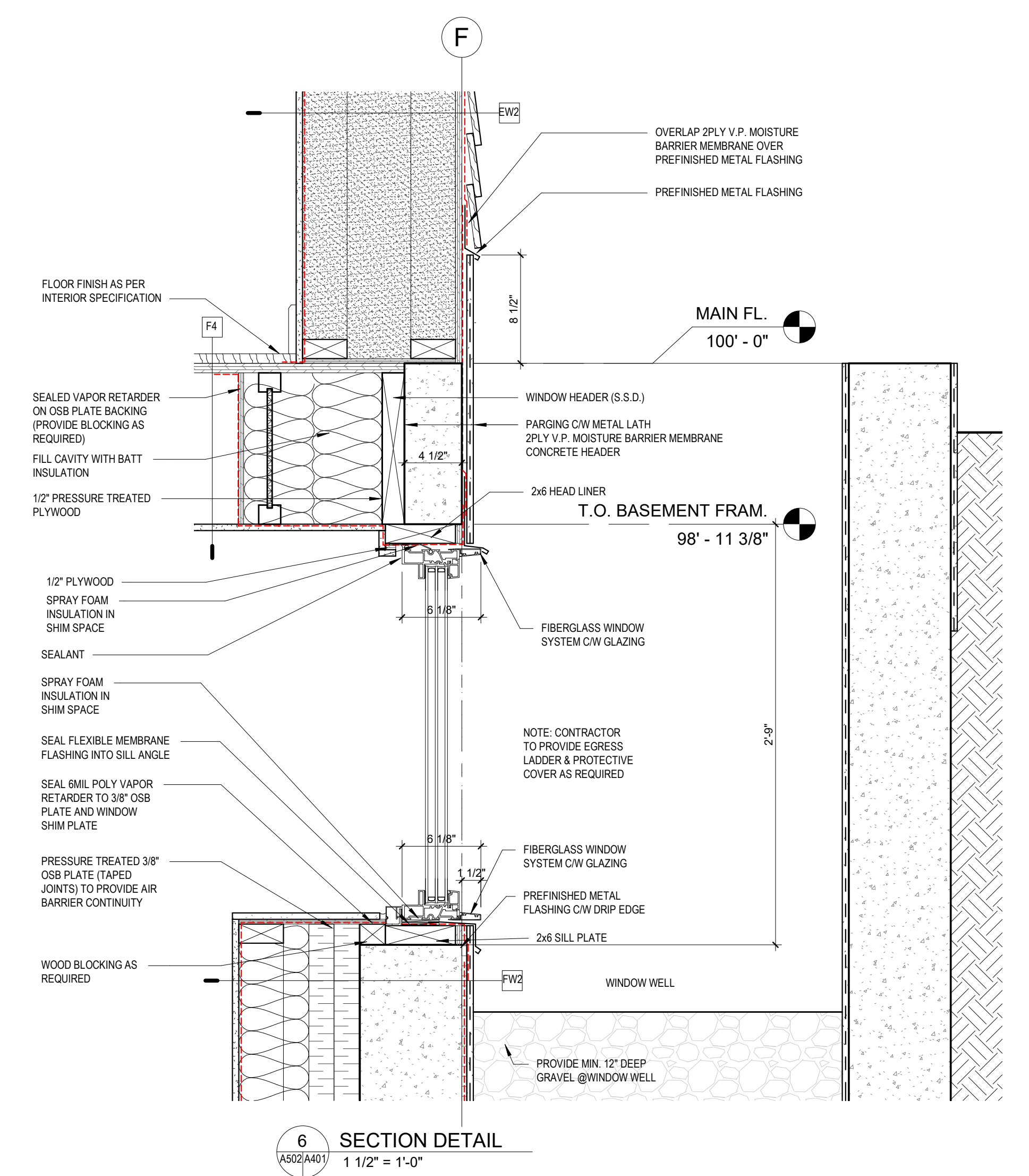
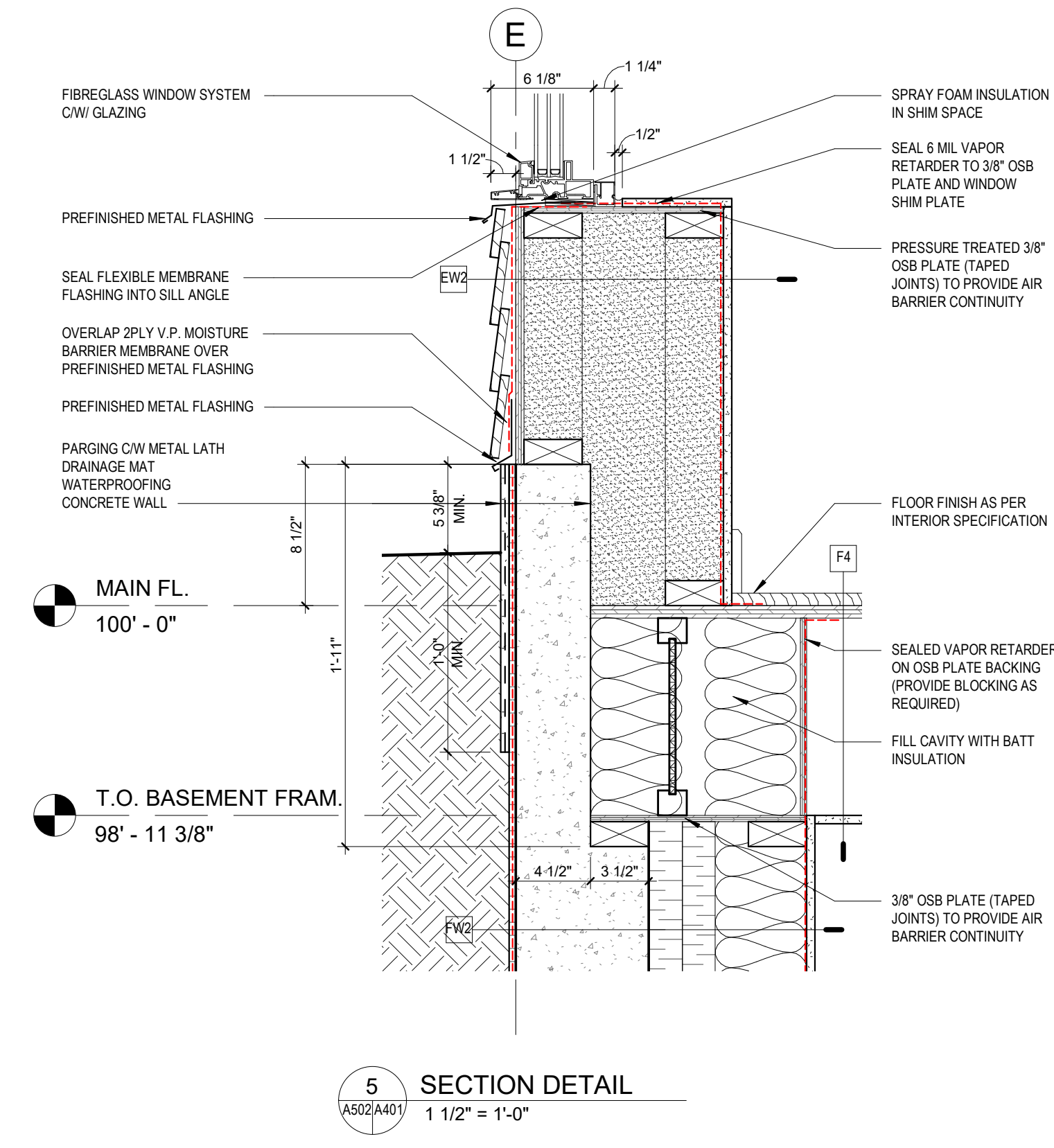
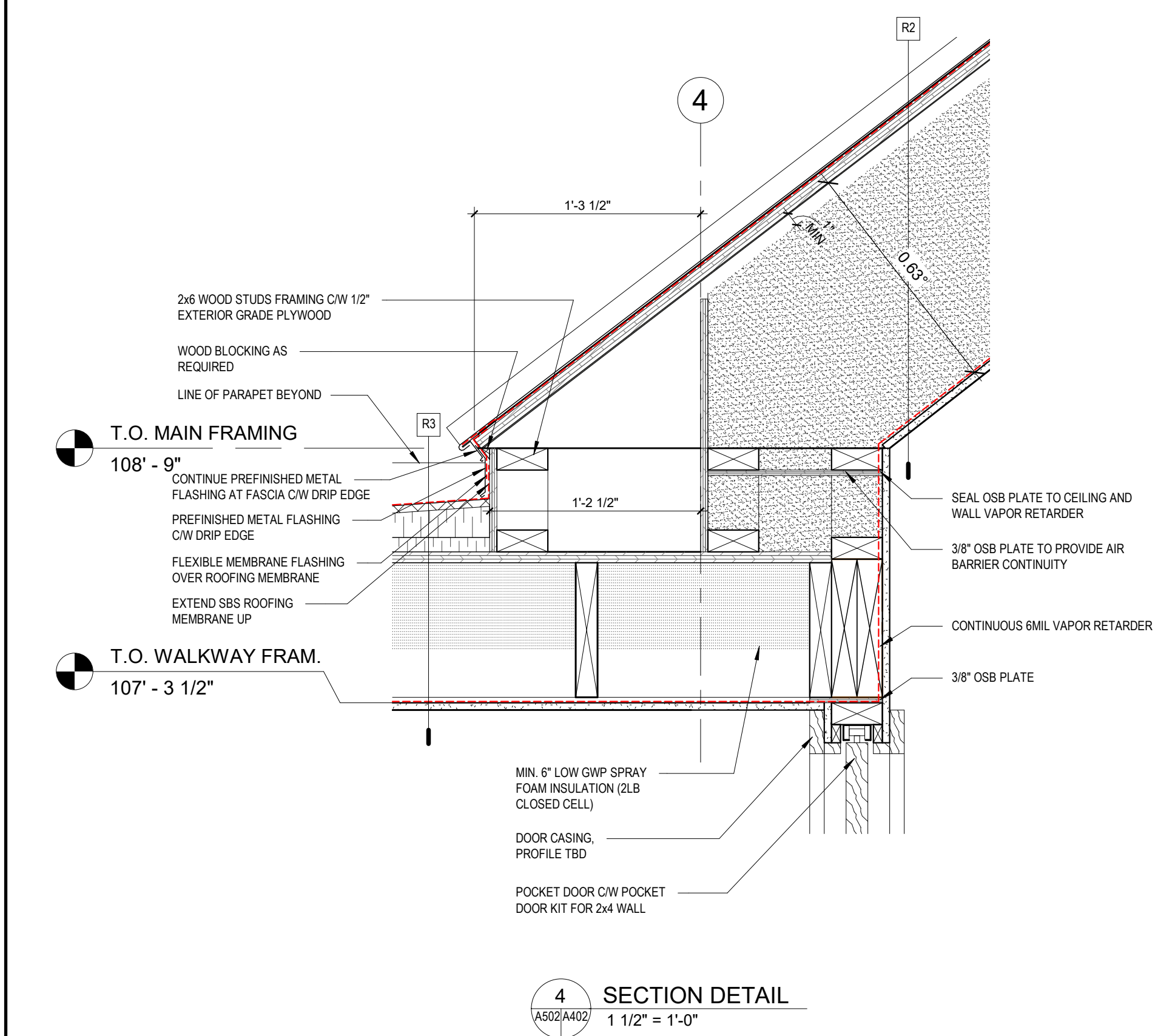
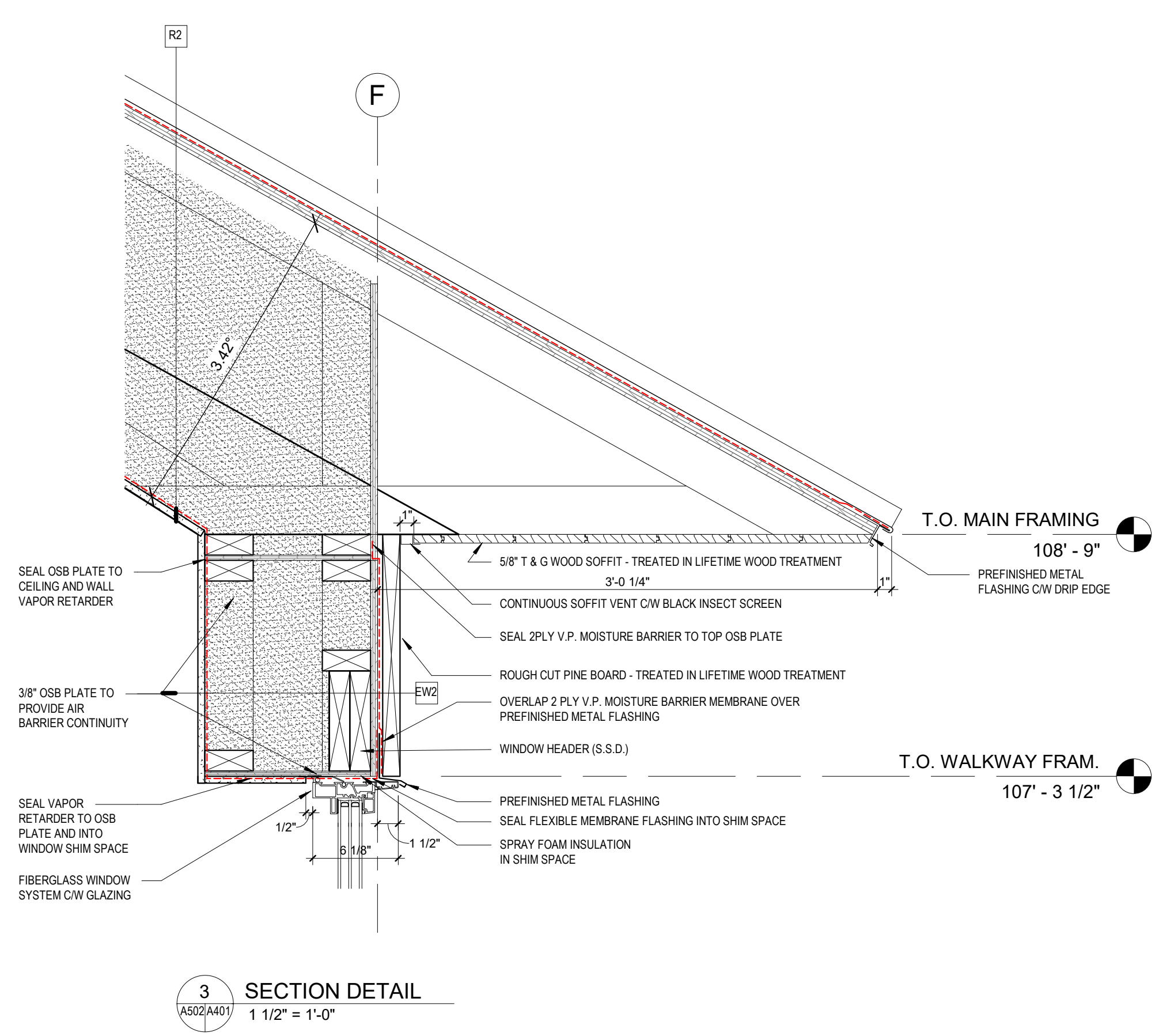
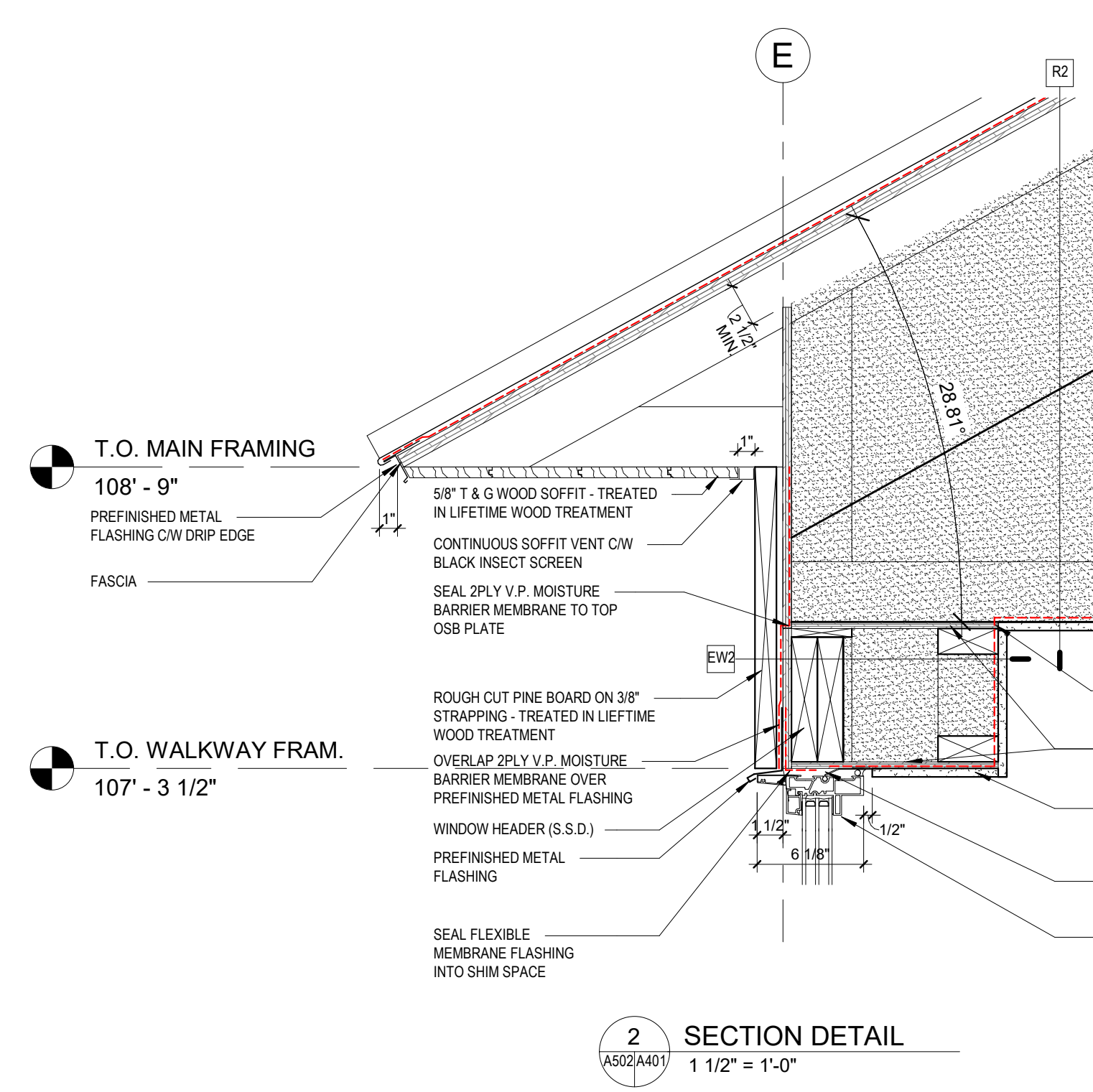
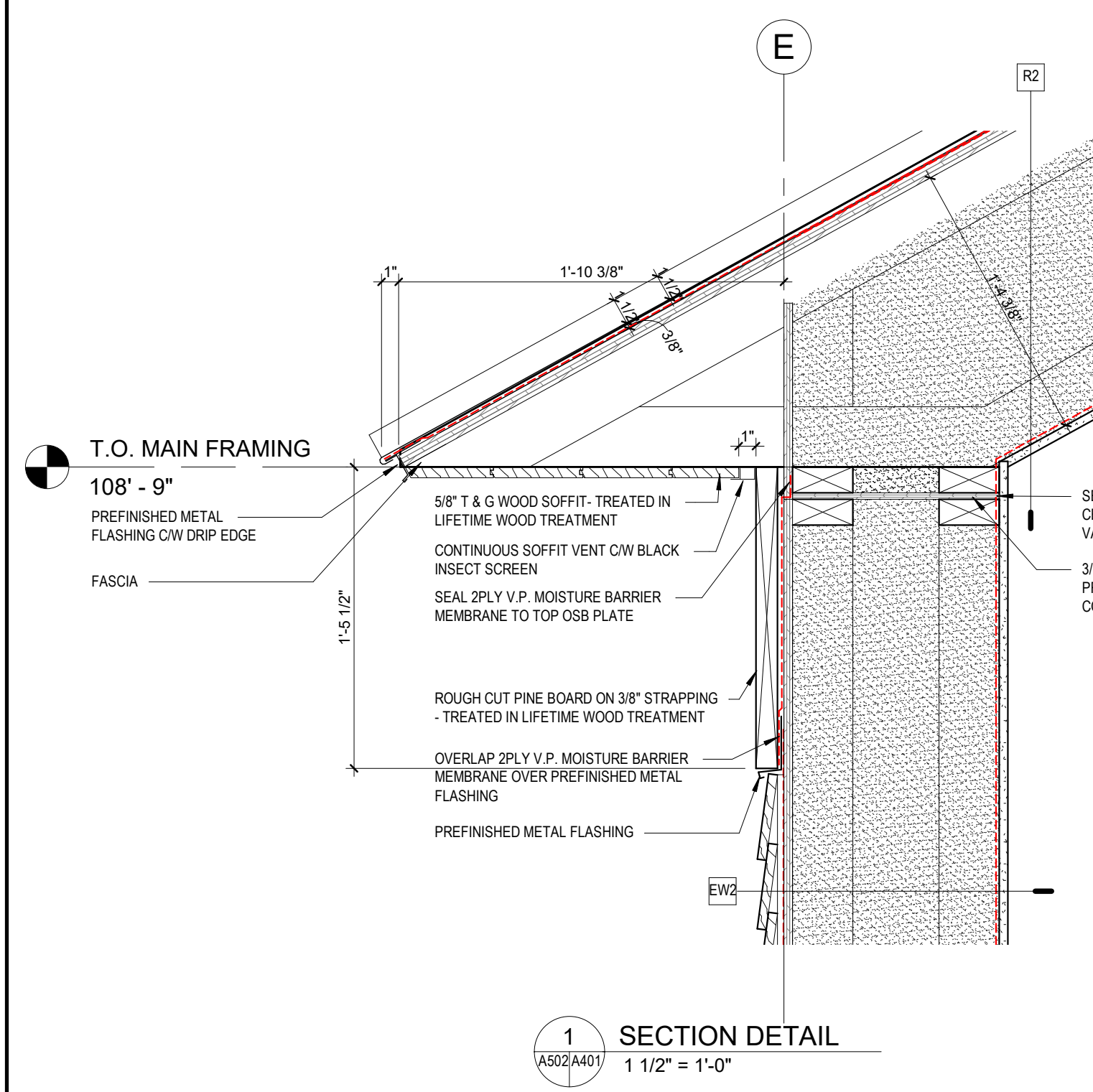
drawing title

SECTION DETAILS

sheet

A502

drawn	Author	scale	1 1/2" = 1'-0"
checked	Checker	project no.	21011



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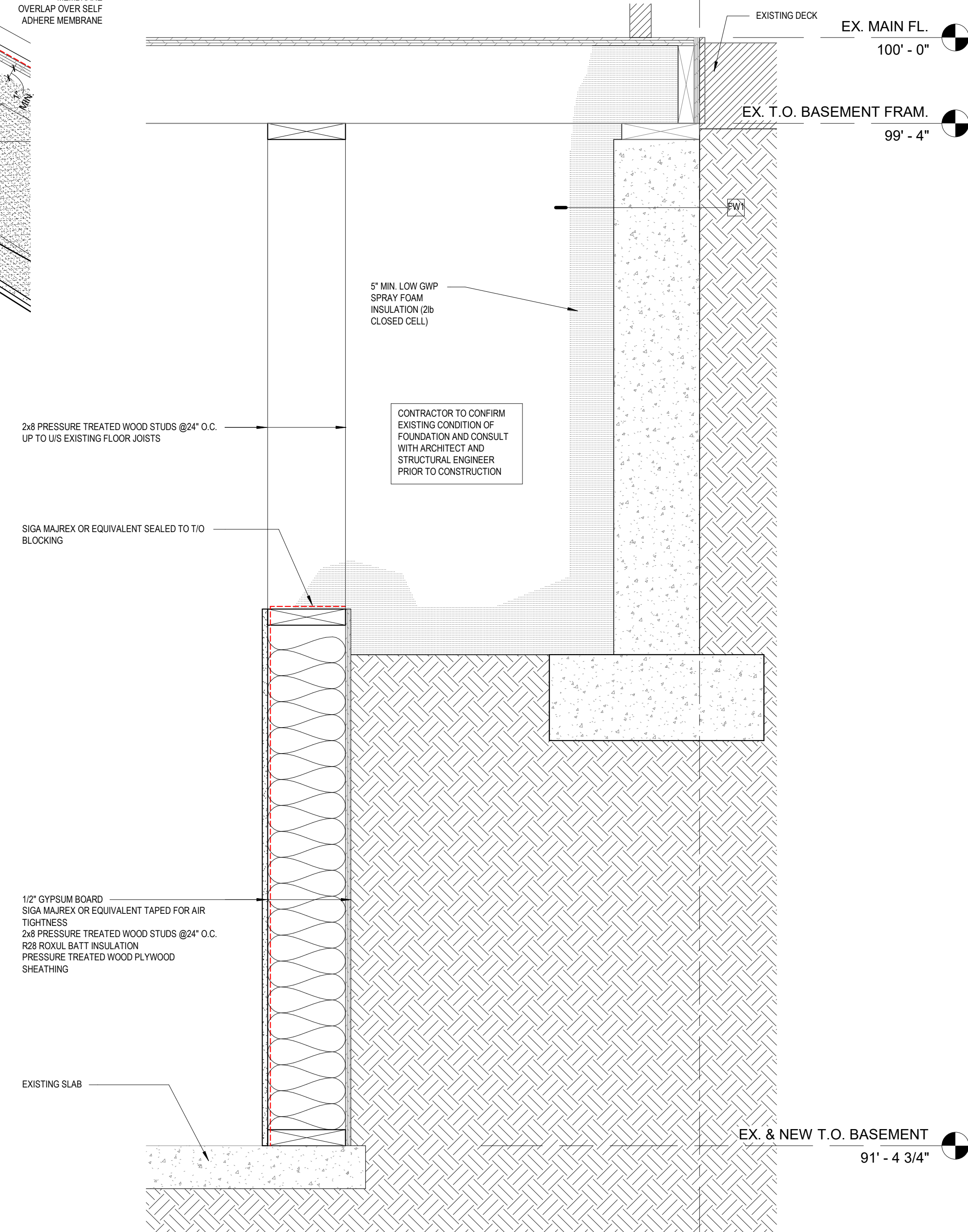
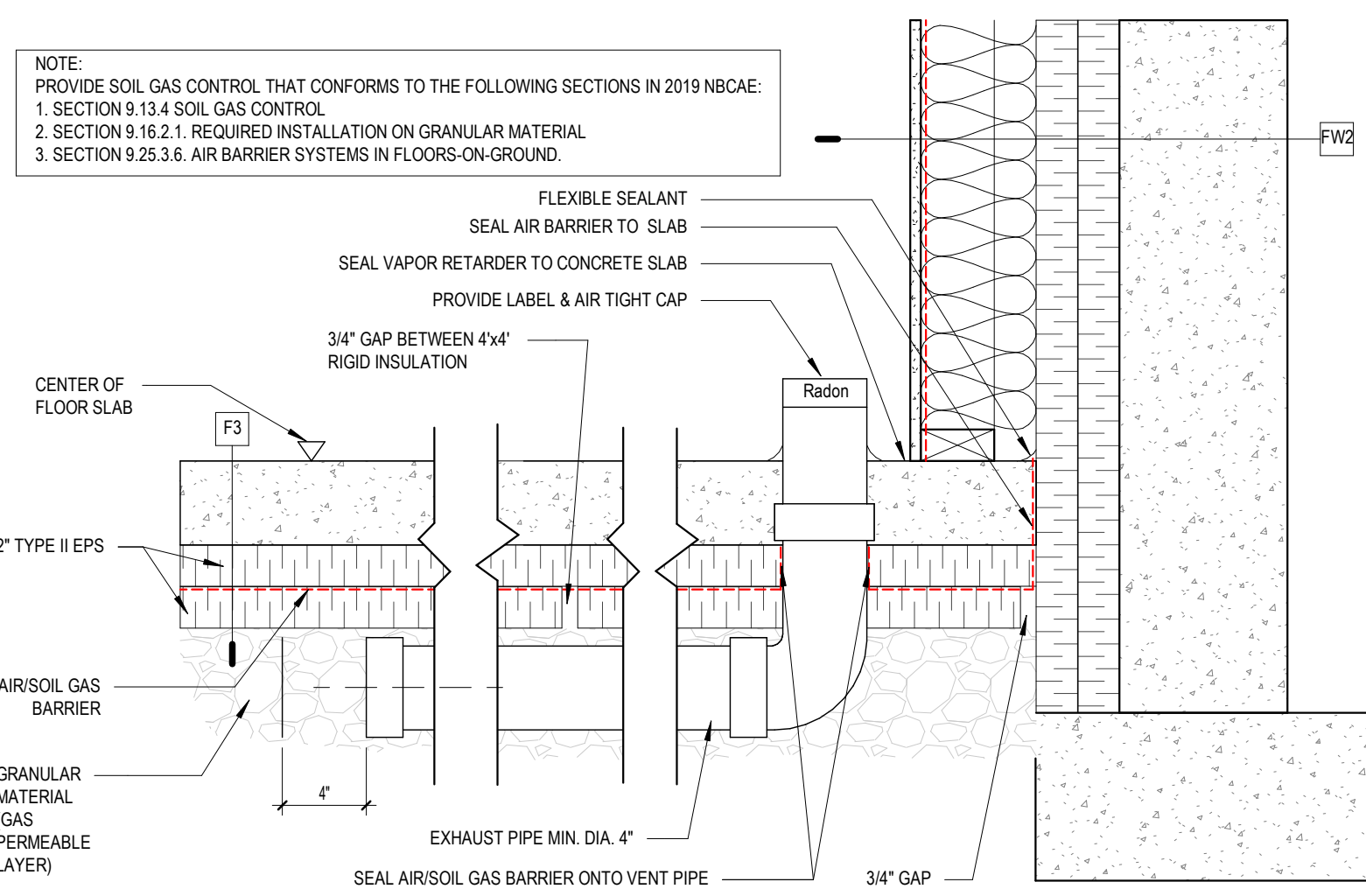
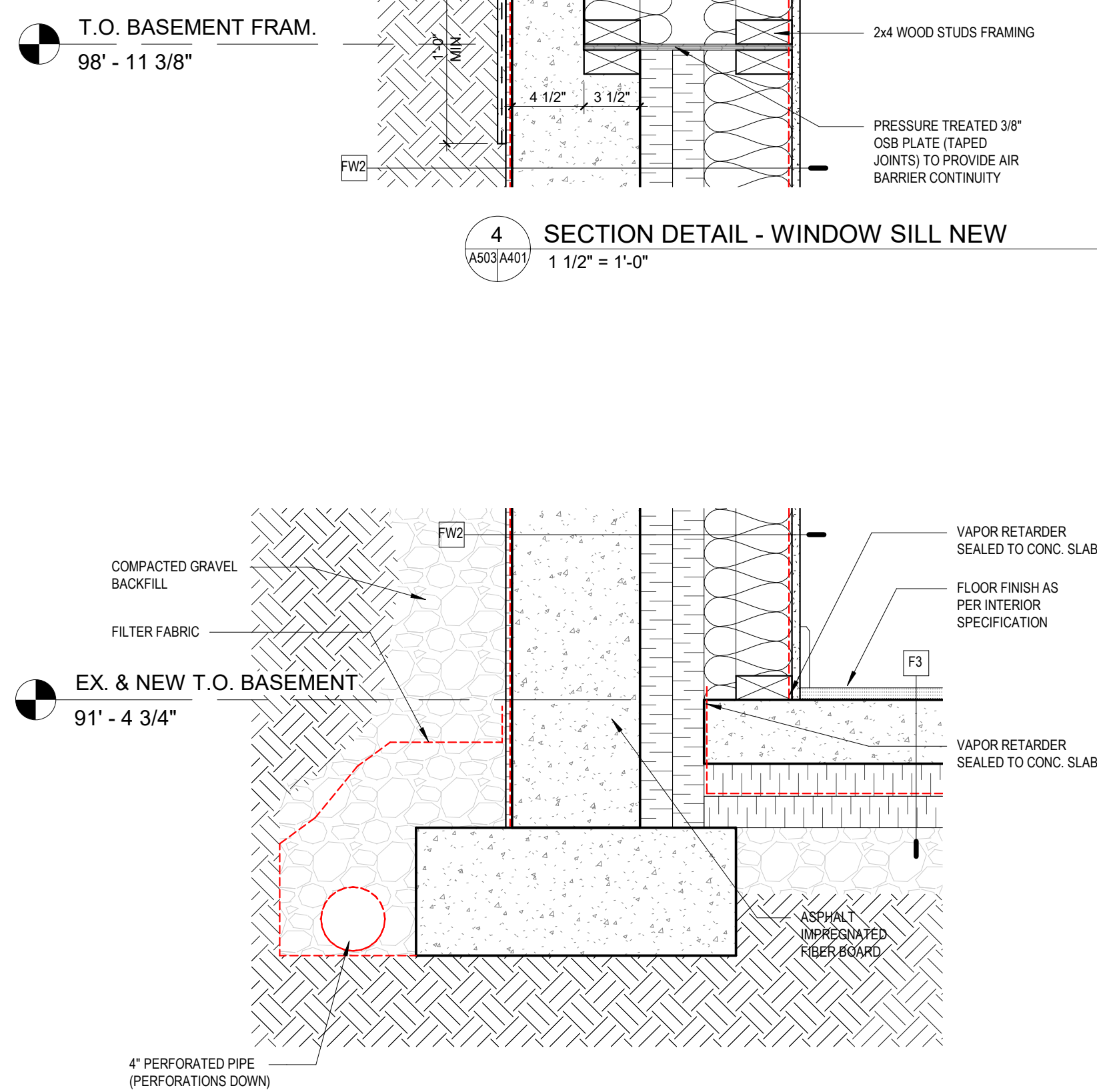
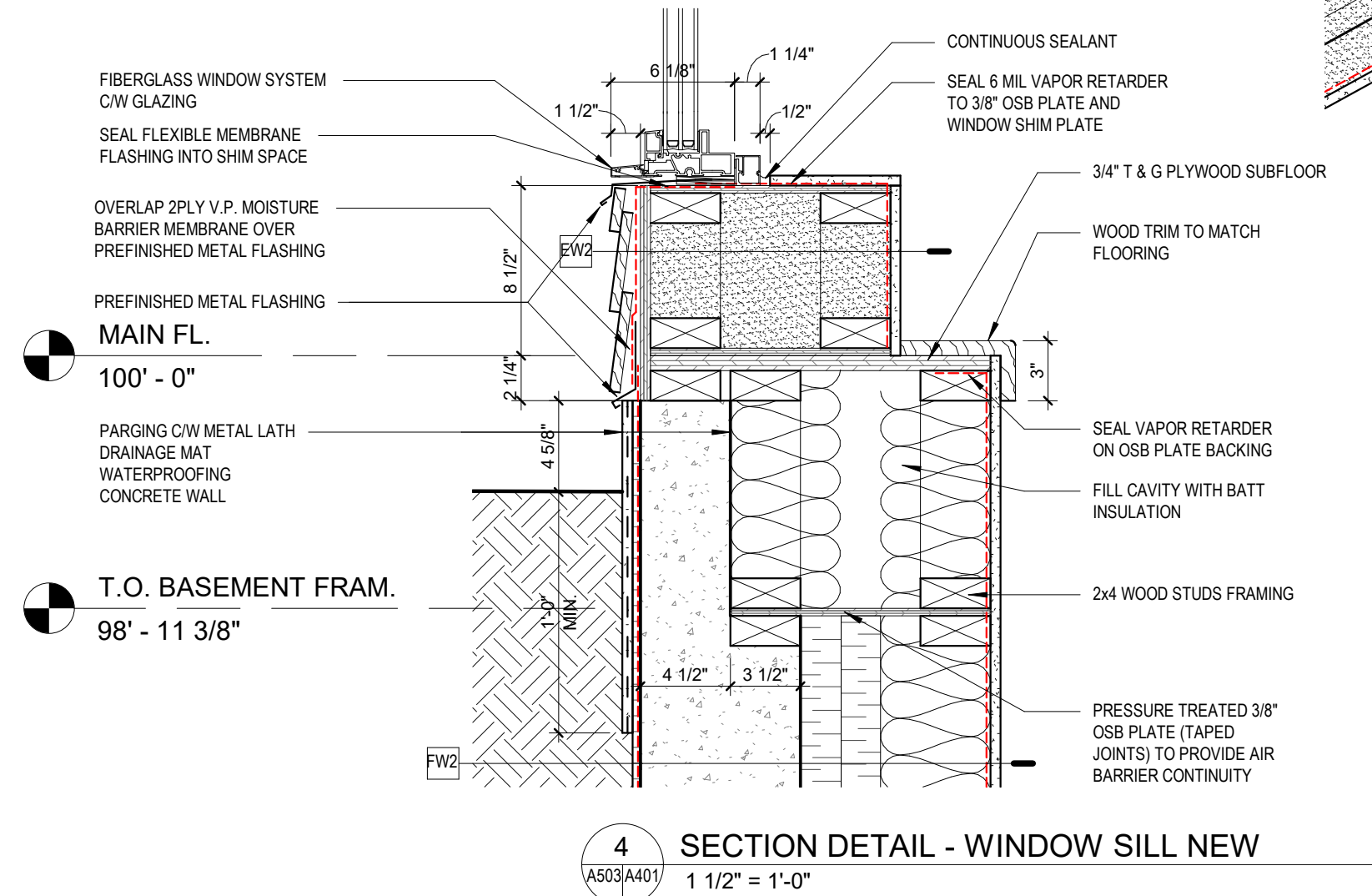
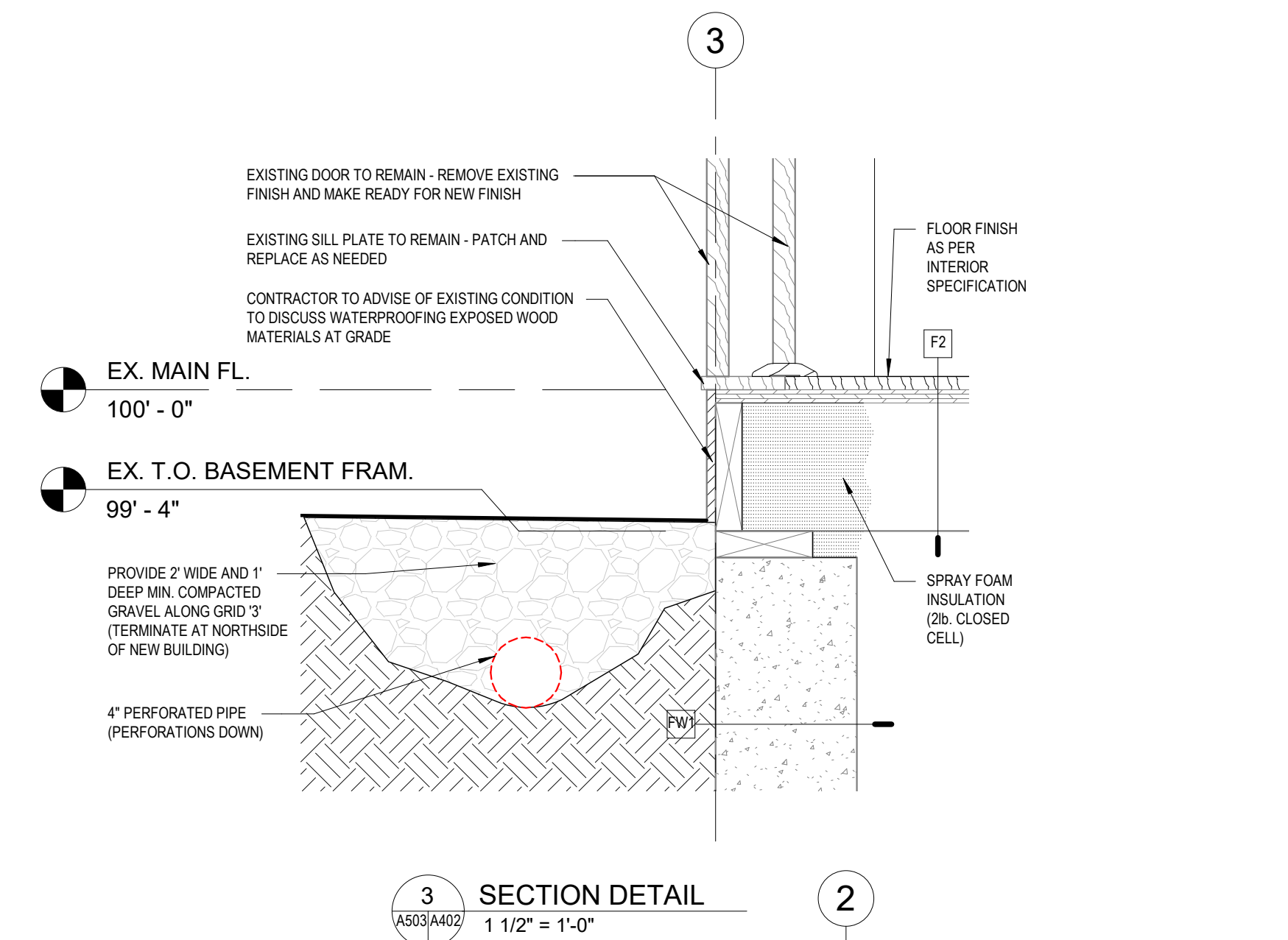
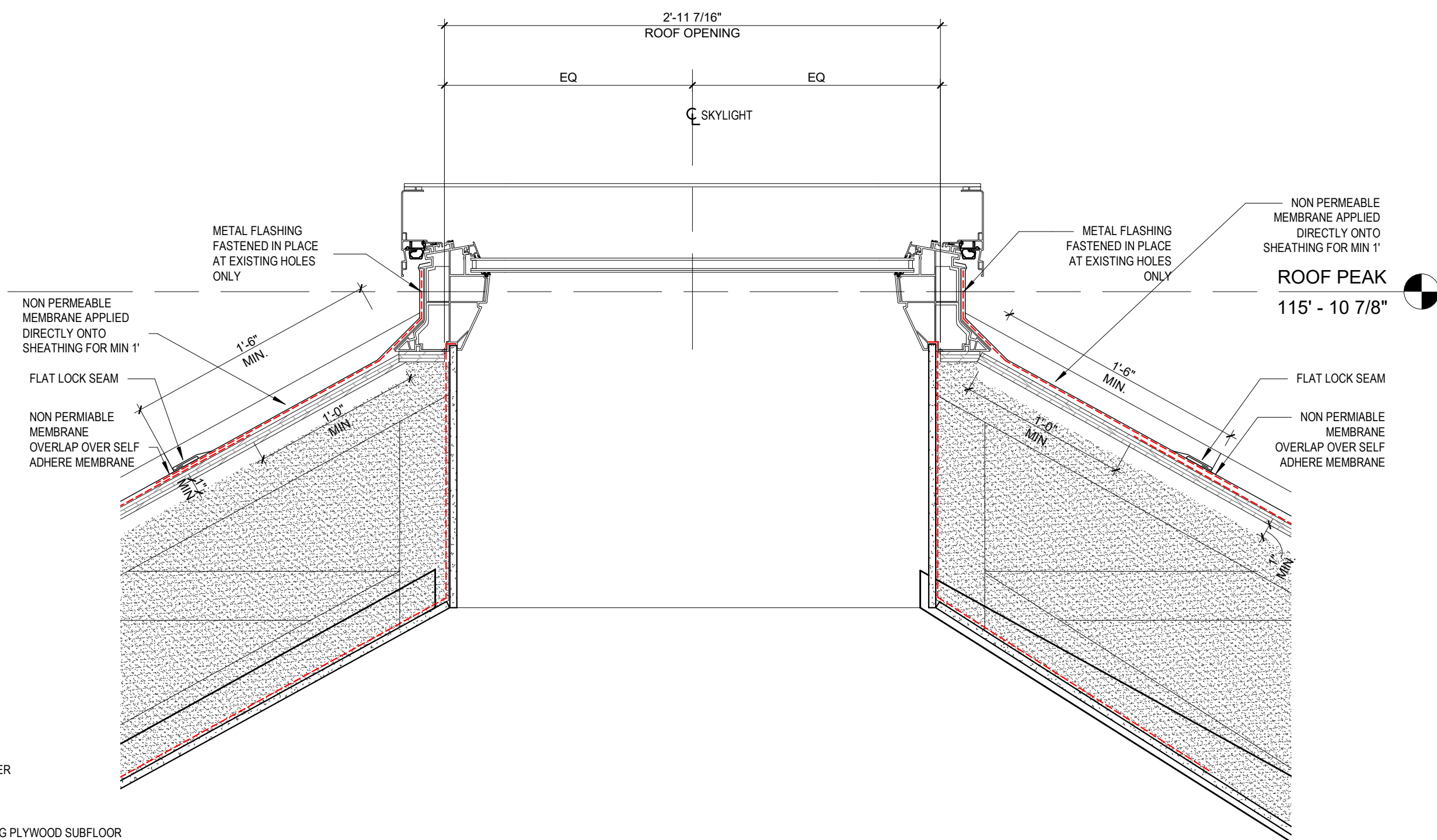
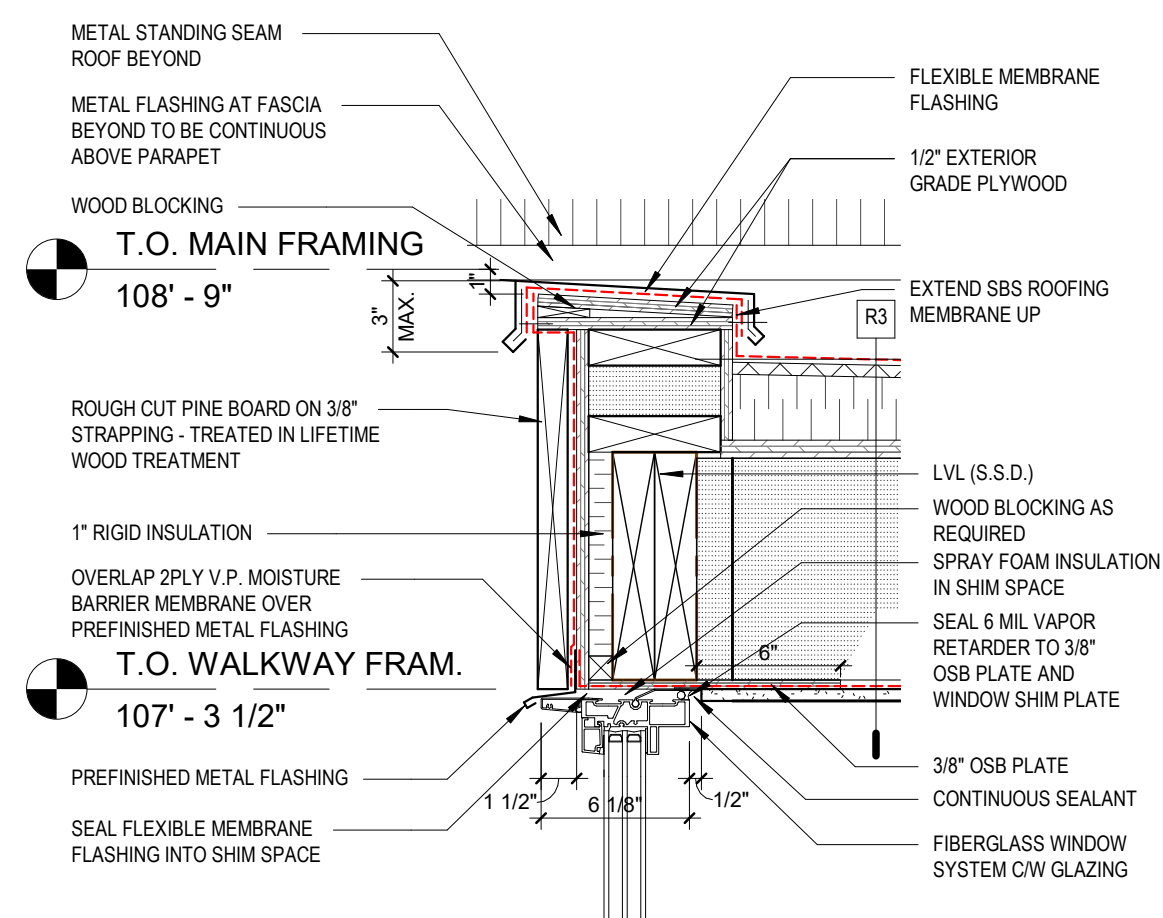
BOWSTRINGS FOUNDATION

RUTHERFORD RESIDENCE

SECTION DETAILS

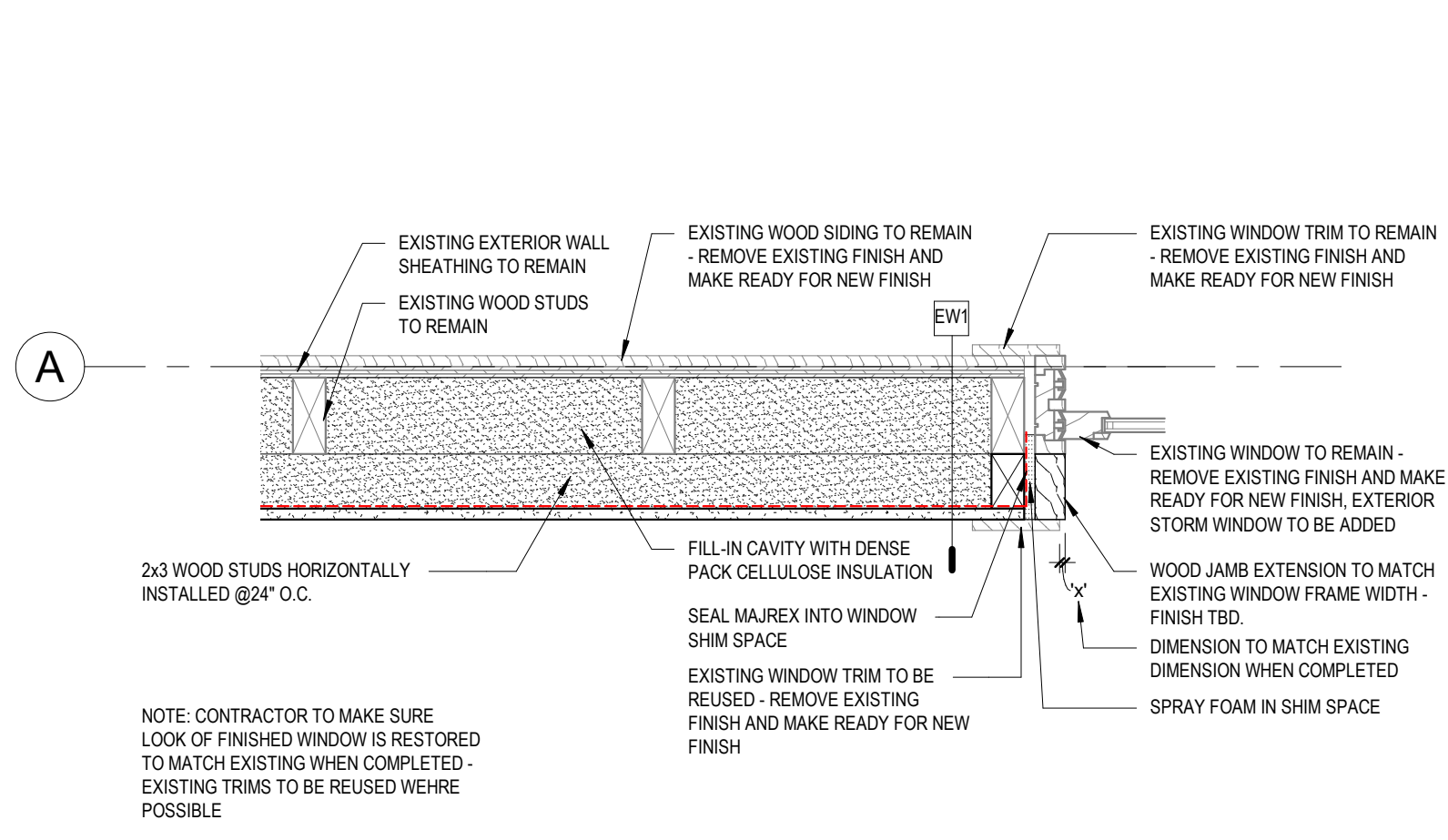
A503

drawn	Author	scale	1 1/2" = 1'-0"
checked	Checker	project no.	21011

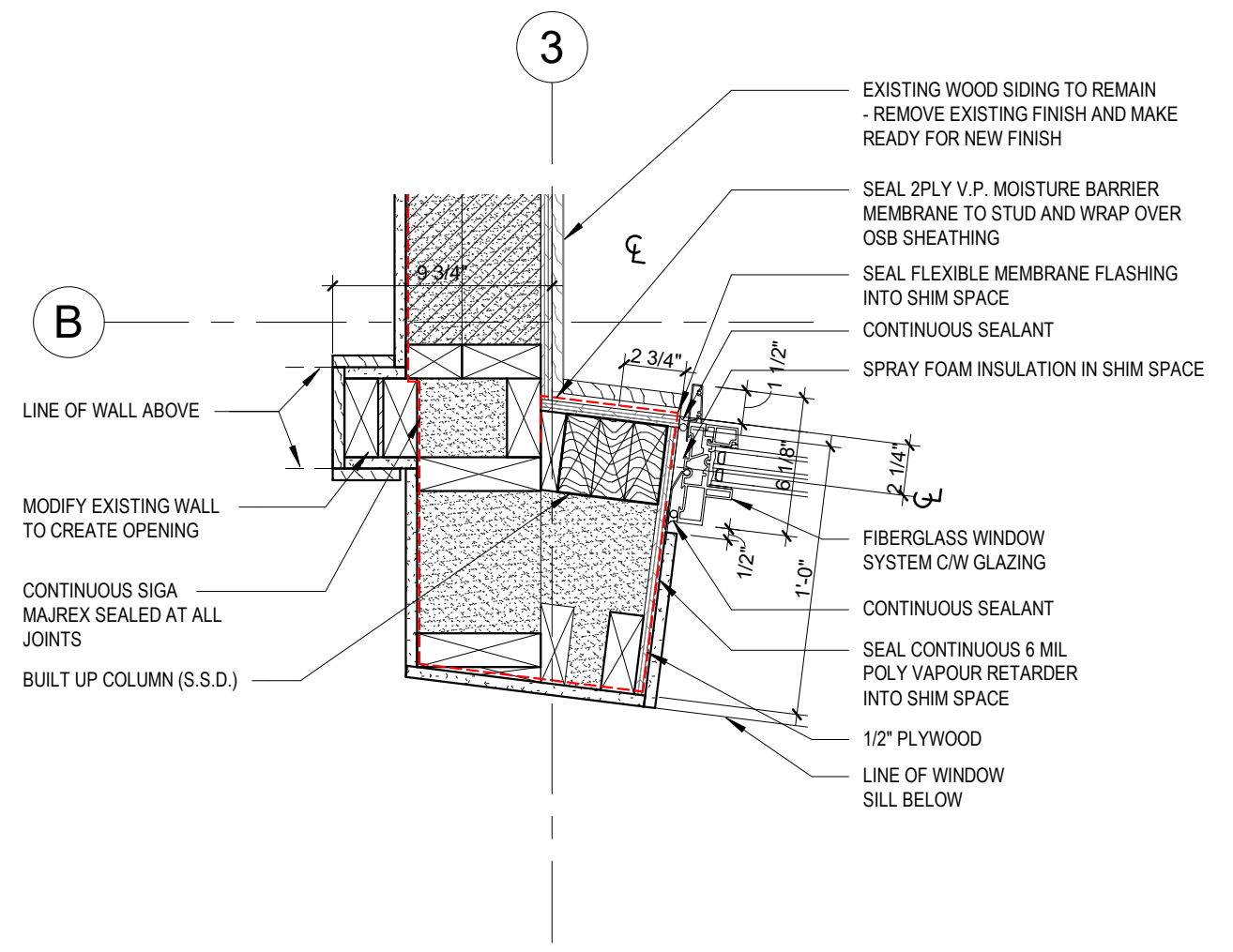


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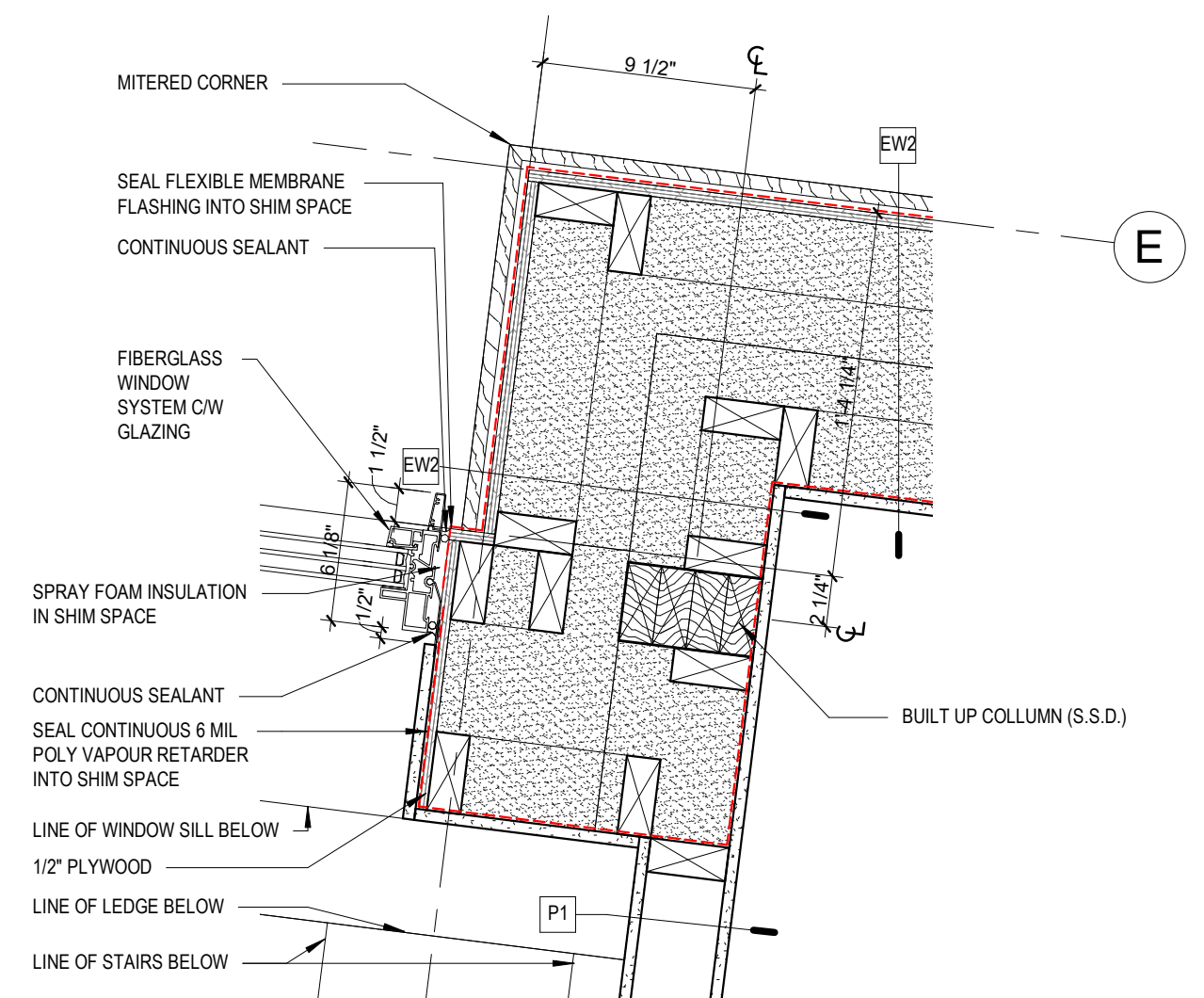
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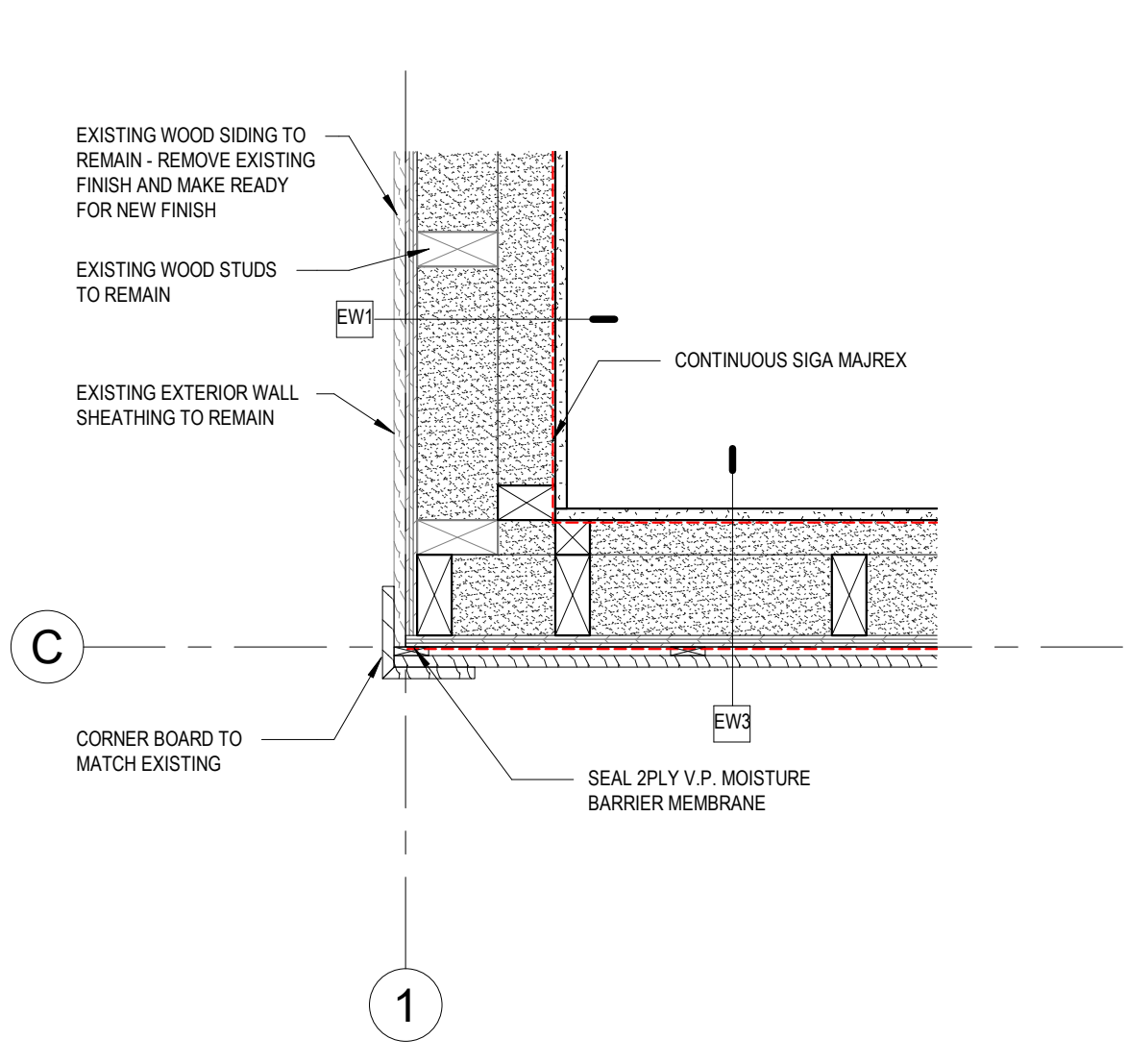
1 PLAN DETAIL - TYP. WALL/WINDOW JAMB @EXISTING HOUSE
1 1/2" = 1'-0"



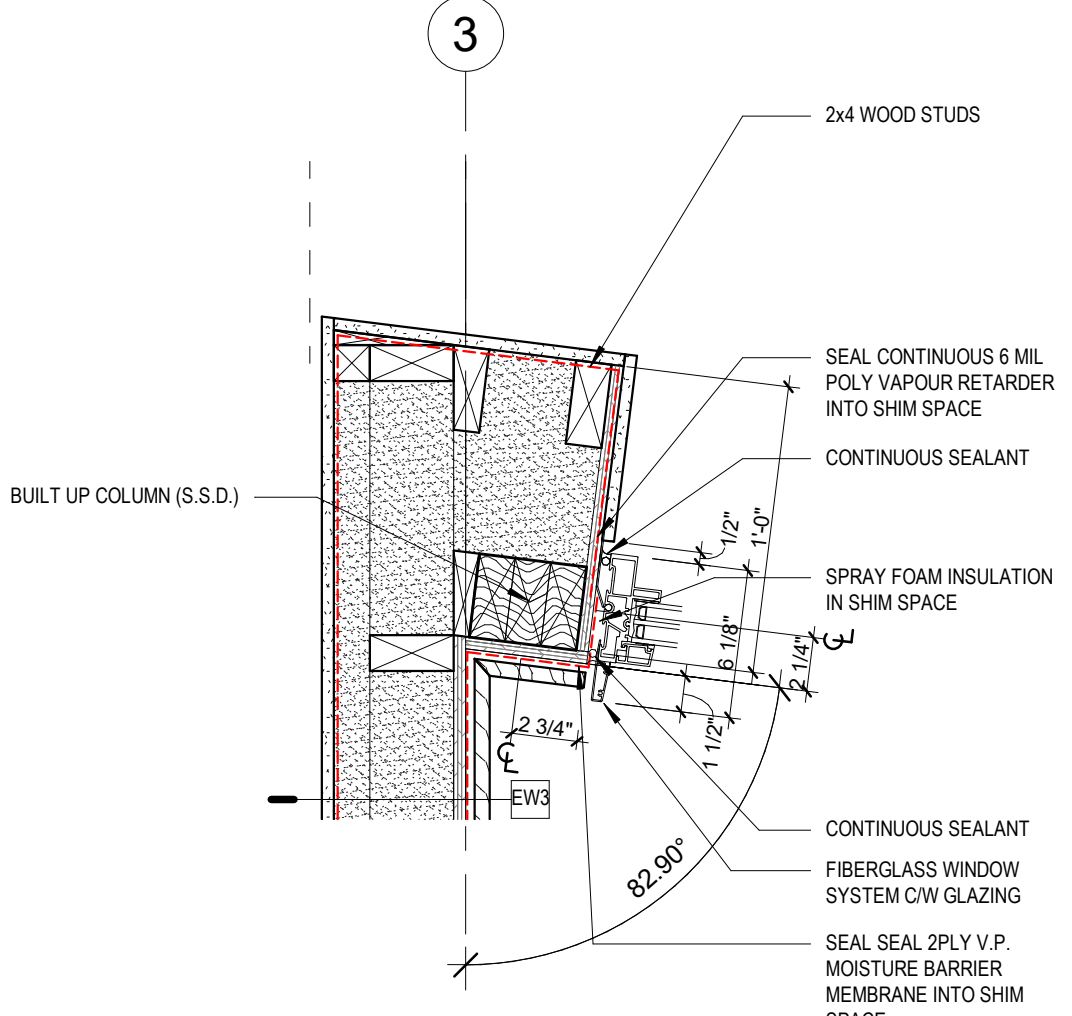
2 PLAN DETAIL
1 1/2" = 1'-0"



3 PLAN DETAIL
1 1/2" = 1'-0"



4 PLAN DETAIL
1 1/2" = 1'-0"



5 PLAN DETAIL
1 1/2" = 1'-0"

project architect

seal

consultant

permit

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client

BOWSTRINGS FOUNDATION

project

RUTHERFORD RESIDENCE

drawing title

PLAN DETAILS

sheet

A601

drawn

Author

scale

1 1/2" = 1'-0"

checked

Checker

project no.

21011